



Date of Council Meeting: March 11, 2013

**TOWN OF LEESBURG
TOWN COUNCIL WORKSESSION**

- Subject:** Crosstrail Referral Request from County
- Staff Contact:** Susan Berry Hill, Director, Planning and Zoning
Aref Etemadi, Deputy Director, Utilities
Scott Coffman, Airport Manager
William Ackman, Director, Plan Review
Renee LaFollette, director, Capital Projects
Calvin Grow, Transportation Engineer, Public Works
Charlie Mumaw, Deputy Director, Public Works
Scott Parker, Assistant Town Manager
- Recommendation:** Information only.

Issue: Briefing on proposed development plan for Crosstrail in Leesburg JLMA

Background:

A referral request was sent to the Town from the County soliciting comments on the first submission of the subject application. Referral comments are due to the County on April 13, 2013. The purpose of this item is to brief Council on the proposal and on staff's initial comments. Staff will provide a draft referral for Council to review at the worksession on April 11. No action is required of Council at the March 11 worksession – this item is only a “heads up” and an opportunity for Council to give staff direction for questions/comments to be included in the draft referral.

Proposal: The applicant has proposed to rezone 57.4 of the 444.81 acre parcel known as Crosstrail from PD-IP (Planned Development Industrial Park) for the purpose of building commercial and office development. The proposal is to rezone this portion of the Crosstrail property to Planned Development –Commercial Center – Small Regional Center (PD-CC-SC). This zoning district allows for community and small-scale regional retail and office uses. The applicant proposes up to 100,000 square feet of office use and up to 550,000 square feet of non-office uses including retail flex-industrial uses. The application includes three special exceptions for a hotel, convenience store with gas pumps, and outdoor sales. Lastly, the application includes five zoning modifications to address reductions in building and parking setbacks (see Attachment 1 for proposed Concept Development Plan).

While the Crosstrail land holding does include approximately 18.05 acres that are within the Town corporate limits, this property is not included in the proposal. In 2012 the Town purchased

44.30 acres of the Crosstrail property for airport-related uses. This property is zoned PD-IP under County zoning and is not included within the boundaries of this proposal.

The property is designated in the County's Revised General Plan (RGP) for Business Community uses north of Crosstrail Boulevard and for Keynote Employment uses south of Crosstrail Boulevard. Business Community uses allow for a mix of office and retail uses and up to 10% of the mixed use composition may be retail. The County's Retail Plan policies will be applied to the proposal as well as the RGP policies.

The property is currently zoned PD-IP which allows for industrial and flex industrial uses and with support retail. There are no proffers associated with the zoning of the property. The proposed zoning category, PD-CC-SC, will allow for more retail than what would be allowed under the current zoning.

Initial Review Issues: The referral was sent to the Departments of Utilities, Public Works, Airport, Plan Review, Capital Projects, and Planning and Zoning for comment. Preliminary comments and issues are provided for Council's information below:

Town Plan – The Town Plan designates the property for Regional Office uses. This designation emphasizes campus-style office with support retail.

The Regional Office designation allows office uses such as corporate headquarters, emerging technologies facilities, public and private sector office uses, hotels conference centers and higher education facilities. Retail and service uses are for daily needs of workers, customers, and businesses including personal services and office supplies, and office –related uses such as bank facilities, restaurants, and health clubs and day care facilities. Light industrial and high tech uses are also appropriate provided they are of a nature that does not have negative environmental or operational impacts on the office uses. Floor area ratios are anticipated to be relatively high in the range of .35 to 1.0. Up to 20% of the total square footage can be retail use to serve the predominant use of office.

The Crosstrail property is zoned for industrial use but there was no square footage cap placed on the property when it was rezoned. Town Plan policy allows for up to 20% of the total square footage to be retail and encourages the retail to be incorporated with the office, light industrial and flex industrial uses. The applicant has reasoned in the Statement of Justification that the need for a PD-SC-CC zoning allows for a concentration of retail uses that will serve as a catalyst for further development of the property for office, flex industrial and light industrial uses. The Plan intended for the retail use to serve the industrial and office uses. As proposed, the retail will function more as a destination-type retail, rather than a service-oriented retail, at least until such time as the industrial/office uses are constructed.

With respect to other non-residentially zoned and planned properties in the vicinity, the Oaklawn property is directly north of Crosstrail and it is approved for 1.5 M s.f. of retail, office, hotel, and restaurant uses. A proposal for a community retail center is anticipated at the Leesburg South property (aka Meadowbrook) and the 2012 Town Plan designates this property for up to 150,000 s.f. of retail.

JLMA Proposals – Staff notes that there are currently two rezoning applications pending at the County that are within the Leesburg JLMA and a third property has recently come in for a pre-application conference. The Crosstrail rezoning, the Tuscarora Crossing application (797 residential units), and the proposed rezoning of the Goose Creek Golf Course (132 room hotel, 6000 s.f. restaurant, 100+ residential units, 9-hole golf course) constitute the vast majority of the Leesburg JLMA. The map in Attachment 3 shows the location of these three properties. See Attachment 3. (Susan Berry Hill)

Utilities

- a. The phasing for provision of utilities is unclear from the applicant's Statement of Justification and the Utilities Plan provided in the plan set. It is not know which portions of the utilities will be built with this application for the initial phase. Staff recommends that the utility plan for the first phase through buildout be thoroughly discussed with Town staff.
- b. The sewer outfall proposed toward the southern property line drains to the Lower Sycolin Sewer outfall Phase II. This portion of the sewer outfall has not been programmed in the next 5 years of the Town's CIP. It may be necessary for the applicant to build this outfall if by such time the Town has not funded the Phase II construction. The plans for the Lower Sycolin Sewer outfall Phase II are at 90% completion and are ready to be submitted to the County and State for approval.
- c. The only portion of the Crosstrail property which is programmed to drain to the north is the portion within the Town limits. The Applicant must demonstrate the adequacy of the existing sanitary sewer system for the additional flows before the approval of this application. This proposed connection is very costly and difficult to achieve.
- d. The applicant should show how the building will drain to the proposed sewer system.
- e. Water lines must be located east or north of the e road centerlines.
- f. The crossing of water and/or sewer lines under the Greenway ramp and Battlefield Parkway will need to be enclosed in a steel casing.
- g. It is unclear whether the entire waterline is being built with the initial phase. If phased, each phase must show adequacy of service and fire flow projection.

- h. The Town will not extend utilities to the subject property. It is the applicant's responsibility to extend utilities from their current terminus to serve the property. (Aref Etemadi)

Airport - The Airport Manager notes that the developer is reminded to submit a Notice of Proposed Construction to the FAA via form 7460 regarding any proposed construction adjacent to the airport. This evaluation by the FAA will determine if proposed structures will penetrate the protected airspaces surrounding the airport and will also determine if the structure would adversely affect the FAA's Instrument Landing System (a radio navigation aid). (Scott Coffman)

Public Works - Transportation - The Applicant's Statement of Justification states that: "The Applicant plans to construct portions of Hawling Farm Boulevard and Crosstrail Boulevard as well as a Greenway Exit Ramp from the Dulles Greenway when required by development of the Property...The Applicant plans to bond and construct portions of Hawling Farm Boulevard from Battlefield Parkway to the Dulles Greenway slip ramp as well as the Dulles Greenway off-ramp in the approximate location shown on the Concept Development Plan, as required to accommodate development of uses on the Property. The Applicant plans to construct traffic signalization at the Hawling Farm Boulevard/Battlefield Parkway intersection as required to provide access to the e from the Property consistent with the Facilities Standards Manual requirements."

The following comments are provided by the Department of Public Works:

- a. The study needs to be signed and sealed by a Professional Engineer. *DCSM 7-111.1*
- b. Some of the intersections in the study are outside the corporate limits, and are maintained by VDOT. Confirm that VDOT staff has had the opportunity to comment on this submission.
- c. The Town of Leesburg requires a minimum level of service of C per approach at project build-out, and level of service D per approach at build-out plus 20 years. Provide recommendations for achieving the required level of service at all Town maintained intersections. *DCSM 7-111.1.D(2)*
- d. The traffic study assumes Hawling Farm Boulevard will be constructed from Battlefield Parkway to Crosstrail Boulevard by project build-out in 2021. Two lanes of Hawling Farm Boulevard from Battlefield Parkway to Crosstrail Boulevard and two lanes of Crosstrail Boulevard from Sycolin Road to the Greenway should be developed in the first phase of development. As an alternative, development should be limited to only that which will not cause the level of service at the intersection of Hawling Farm Boulevard and Battlefield Parkway to exceed the level of service C. No development south of this limit shall proceed until Crosstrail Boulevard is constructed between the Greenway and Sycolin Road and the connection of Hawling Farm Boulevard to Crosstrail Boulevard is made. If the development is occupied beyond this limit without the connection to Crosstrail Boulevard, it will decrease the level of service at the intersection of Battlefield

Parkway and Hawling Farm Boulevard below acceptable standards. *DCSM 7-111.1.D(3)*
(Calvin Grow and Mike Armstrong)

Plan Review –

1. Update the ZMAP to depict all items noted in section K.2. of the Minimum Submission Requirements for Zoning Map Amendment Application checklist to include a “traffic circulation map that illustrates both external and internal traffic ways, including existing and proposed rights-of-way, travel lanes, major pedestrian and bike paths and trails, school bus stops/shelters, park and ride lots, and other transit or multimodal related facilities, and other transportation improvements.” **Specifically provide detail regarding missing items such as existing and proposed rights-of-way, travel lanes, major pedestrian and bike paths and trails, public bus stops/shelters and any other proposed transportation improvements. Also note that the Loudoun County Planning Guidelines for Bicycle and Pedestrian Facilities for 4 lane roads include a 6’ wide sidewalk facility and a 10’ shared use path. Update Note 4 on Sheet 3 to specify a 6’ wide sidewalk. (Sht. 2 and 3).**
2. Update the ZMAP to depict all items noted in section K.3. of the Minimum Submission Requirements for Zoning Map Amendment Application checklist to include an overlay of “proposed land use items and transportation elements over the existing conditions information” as stated. Review the intent of the overlay as stated in the checklist; “Intended to show the changes in topography, drainage, water features, trees and vegetation, etc. anticipated as a result of the proposed development.” **Specifically show all proposed roads, lot layouts clearly depicting the parking lots (including regular and ADA parking spaces), internal travelways and proposed conceptual grading for the subject areas tied into existing Loudoun County topography as noted in section K.3. of the Minimum Submission Requirements for ZMAP. More detail should also be provided regarding the impact on existing wetlands (if any) as well as to the impact on any existing forested vegetation in the area. (Sht. 2).**
3. Update the ZMAP to depict all items noted in section K.4. of the Minimum Submission Requirements for Zoning Map Amendment Application checklist to include a “proposed plan for all major sanitary sewer improvements and a means of providing water service; the approximate location and estimated size of all proposed stormwater management facilities and a statement as to the type of facility proposed.” **Specifically provide a conceptual utilities layout plan to show how Leesburg’s water and sanitary sewer will be looped through this commercial center and to show how stormwater will drain from each individual site to ensure the new stormwater management regulations can be met for this development. Provide additional notes and conceptual design calculations to demonstrate how both water quality and water quantity requirements will be met under the new stormwater regulations and to verify the size of the facilities shown are adequate. (It should also be noted that the Town of Leesburg’s rainfall intensities have been verified to be higher than average Loudoun County accepted values. Therefore, the Town of Leesburg intensity values should be used in all storm and stormwater management design calculations for this development.) (Sht. 2 and 4).**

4. **Update the ZMAP to show how the existing drainage from the airport property will be conveyed through the proposed development. Note that no drainage should “backup” onto the airport property and cause standing water.**
5. Update the ZMAP to depict all items noted in section N. of the Minimum Submission Requirements for Zoning Map Amendment Application checklist to include a Phasing Plan for the proposed development. **Specifically, address phasing of the project as it relates to required supporting infrastructure. The Traffic Impact Analysis appears to require numerous improvements to turn lanes, etc. at different points of the overall development. Update the ZMAP to address phasing of the road network (tied to specific building square footage to be permitted before the road network is required to be in place) and ensure all required improvements to the transportation network are in accordance with comments provided by the Town of Leesburg Department of Public Works. Further, if all of the sanitary sewer and waterline facilities will be required to serve all, or a portion of this site in an early phase of the project, address access to those facilities without the complete roadway network being in place. (New Sht.).**
6. **Update the ZMAP to include the instrument numbers for all easements which exist on the subject property. (Sht. 1).**
7. **Show the location of the Limestone Overlay District in proximity to this site. (Sht. 2).**
8. **Note that heights of all structures, light poles, traffic signal arms, etc. shall conform to FAA standards in the vicinity of the airport.**
9. **Due to the close proximity of the bridge over the Dulles Greenway (Route 267) and the grade differential at the intersection of Hawling Farm Blvd. and Battlefield Parkway, there is a concern that adequate sight distance may not be available at the intersection. As the location of this entrance is critical, it is recommended that the applicant provide a conceptual sight distance plan and profile with the next submission of this application. (Bill Ackman and Dennis Darnes)**

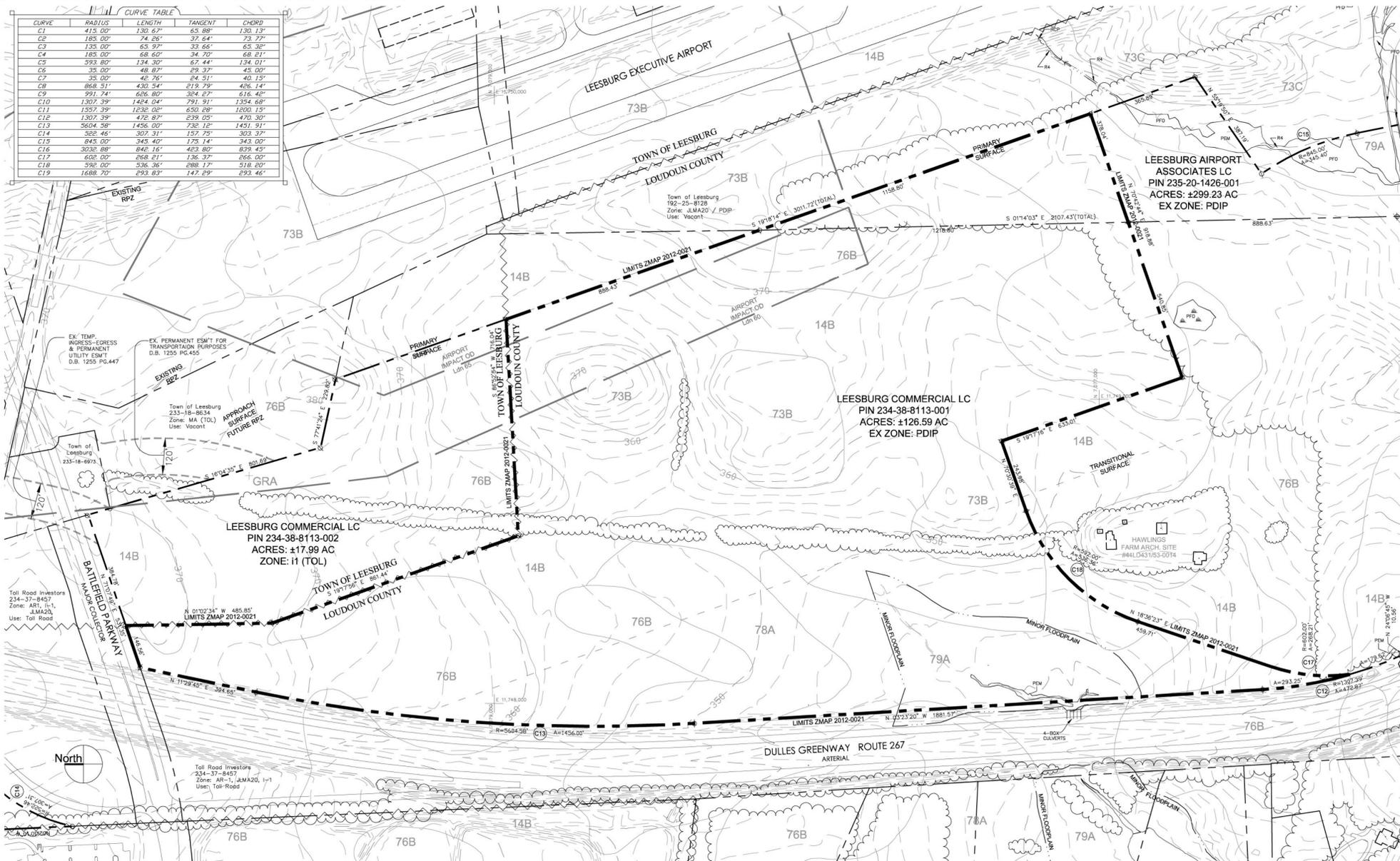
Attachments:

1. Proposed Concept Development Plan
2. Applicant’s Statement of Justification
3. Leesburg JLMA with current land development proposals

CROSSTRAIL COMMERCIAL CENTER

ZONING MAP AMENDMENT ZMAP 2012-0021
 SPECIAL EXCEPTION 2012-0047; SPECIAL EXCEPTION 2012-0048; SPECIAL EXCEPTION 2012-0049
 CATOCTIN ELECTION DISTRICT LOUDOUN COUNTY, VIRGINIA

EXISTING CONDITIONS MAP SCALE 1"=200'

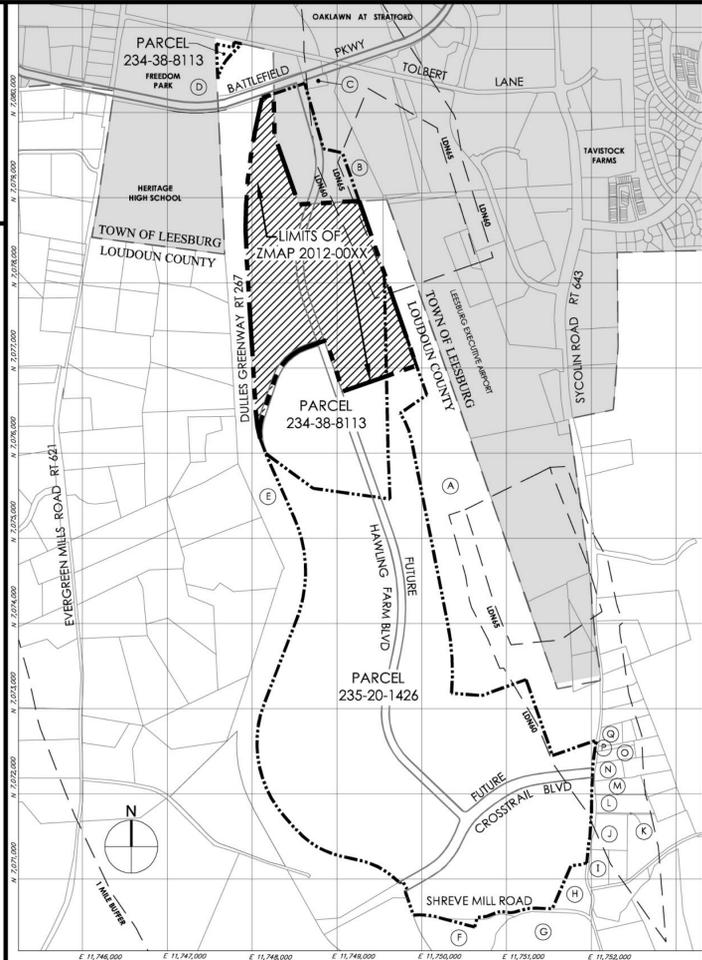


CURVE	RADIUS	LENGTH	TANGENT	CHORD
C1	415.00'	130.67'	65.88'	130.13'
C2	185.00'	74.26'	37.64'	73.77'
C3	125.00'	53.97'	27.66'	53.38'
C4	185.00'	68.60'	34.70'	68.21'
C5	593.80'	134.30'	67.44'	134.01'
C6	35.00'	48.87'	23.37'	45.00'
C7	35.00'	42.76'	24.51'	40.15'
C8	858.51'	430.54'	219.79'	426.14'
C9	991.74'	626.80'	304.27'	616.42'
C10	1307.39'	1424.04'	791.91'	1354.68'
C11	1557.39'	1232.02'	650.28'	1200.15'
C12	1307.39'	472.87'	239.05'	470.30'
C13	3604.59'	1456.02'	735.12'	1421.91'
C14	522.46'	307.31'	157.75'	303.37'
C15	845.00'	345.40'	175.14'	343.00'
C16	3025.89'	684.16'	453.80'	679.45'
C17	608.00'	268.21'	136.37'	266.00'
C18	592.00'	536.36'	288.17'	518.20'
C19	1688.70'	293.83'	147.89'	293.46'

GENERAL NOTES

- THIS ZONING MAP AMENDMENT INCLUDES PARCELS IDENTIFIED ON THE LOUDOUN COUNTY PARCEL MAP AS:

PIN NUMBER	TAX MAP	OWNER	TOTAL AREA	PROJECT AREA	EX. ZONING	INSTRUMENT ID
234-38-8113	180/1117B-1	LEESBURG COMMERCIAL LC	145.58 AC	±80.7 AC	PD-IP / AR-1	200711010078193
235-20-1426	180/11153-1	LEESBURG AIRPORT ASSOCIATES LC	299.23 AC	±5.0 AC	PD-IP / JLM20	201005040025738
- BOUNDARY INFORMATION SHOWN HEREON IS BASED ON AN ALTA LAND SURVEY BY TR LINCOLN II CORP. DATED JUNE 22, 2004; AN ALTA LAND SURVEY BY PATTON HARRIS RUST & ASSOC. DATED OCTOBER 6, 1998; A PLAT OF SURVEY BY ROSS, FRANCE & RATLIFF, LTD. DATED JULY 23, 2004, AND A BOUNDARY LINE ADJUSTMENT BY ROSS, FRANCE, & RATLIFF, LTD DATED SEPTEMBER 28, 2012.
- THE PROPERTY TO BE REZONED IS CURRENTLY ZONED PD-IP SUBJECT TO ZMAP 2008-0009 AND GOVERNED BY THE REVISED 1993 LOUDOUN COUNTY ZONING ORDINANCE.
- A TRAFFIC IMPACT STUDY HAS BEEN PREPARED BY GOROVE / SLADE DATED DECEMBER 20, 2012.
- THE DEPICTED WETLANDS WERE IDENTIFIED IN A STUDY PREPARED BY WETLAND STUDIES AND SOLUTIONS INC DATED NOVEMBER 31, 2009.
- THE DEPICTED ARCHEOLOGICAL SITES WERE IDENTIFIED BY THUNDERBIRD ARCHEOLOGY IN A PHASE I INVESTIGATION DATED JANUARY 2005 AND OCTOBER 2006 AND IN A PHASE II INVESTIGATION DATED MARCH 2005. NO STRUCTURES WITHIN THE REZONING LIMITS WERE FOUND TO BE ELIGIBLE FOR LISTING ON THE NATIONAL REGISTER FOR HISTORIC PLACES, AND NO FURTHER ARCHEOLOGICAL INVESTIGATIONS WERE RECOMMENDED.
- A TREE STAND EVALUATION & ENDANGERED & THREATENED SPECIES HABITAT EVALUATION WERE COMPLETED BY WETLAND STUDIES AND SOLUTIONS INC DATED MARCH 6, 2012.
- PORTIONS OF THE PROPERTY ARE LOCATED WITHIN THE LIMESTONE OVERLAY DISTRICT BUT ARE EXEMPT FROM SUCH REQUIREMENTS PER REVISED 1993 LOUDOUN COUNTY ZONING ORDINANCE SECTION 6-407(A)(4), BASED ON AN OCTOBER 6, 2010 EMAIL FROM ALEX BLACKBURN AND THE FINDINGS OF THE SUBSURFACE EXPLORATION AND LIMESTONE OVERLAY DISTRICT ASSESSMENT PREPARED BY GEOCONCEPTS ENGINEERING, INC DATED AUGUST 11, 2010.
- THERE ARE NO STEEP SLOPES WITHIN THE LIMITS OF THE REZONING.
- THE LIMITS OF THE REZONING ARE LOCATED WITHIN THE LDN-65, LDN-60, AND 1-MILE BUFFER FROM LEESBURG EXECUTIVE AIRPORT.
- MINOR FLOODPLAIN IS PRESENT WITHIN THE LIMITS OF THE REZONING.
- THE PROPERTY IS WITHIN THE TOWN OF LEESBURG SERVICE AREA AND WILL BE SERVED BY PUBLIC WATER & SEWER BY THE TOWN OF LEESBURG.
- THERE ARE NO FUEL, FUEL STORAGE, HAZARDOUS OR TOXIC SUBSTANCES EXISTING WITHIN THE LIMITS OF THE REZONING.
- THIS PROPERTY IS NOT SUBJECT TO THE COUNTY'S USE VALUE ASSESSMENT.
- ANY FEDERAL OR STATE PERMITS THAT DIRECTLY LIMIT DEVELOPMENT OF THE SUBJECT PROPERTY WILL BE ADDRESSED AT TIME OF SITE PLAN.



VICINITY MAP SCALE: 1" = 1000'

SYM	PIN	PROPERTY OWNER	ZONING	USE
A	192-25-8128	Town of Leesburg	PD-IP / JLM20	Vacant
B	233-18-8634	Town of Leesburg	MA / I-1 (TOL)	Vacant
C	233-18-6973	Town of Leesburg	MA (TOL)	Vacant
D	233-16-9972	Town of Leesburg	R-1 (TOL)	Recreation
E	234-37-8457	Toll Road Investors Partnership II LP	AR-1 / JLM20 / I-1 (TOL)	Toll Road
F	236-38-7331	Orme Farm LLC	JLM20 / AR-1	Vacant
G	237-39-5293	Camnack Brothers Partnership LP	JLM20 / AR-2 / TR-10	Single Family
H	193-45-8020	Eric R. & Kathy L. Koski	TR-10 / JLM20	Single Family
I	193-46-1044	Charles C. & Nancy V. Lawson	JLM20	Single Family
J	193-46-2583	Ken McKeegan, Trustee	JLM20	Vacant
K	192-16-4105	Antonio O. Baza	JLM20	Vacant
L	192-16-3918	Ken McKeegan, Trustee	JLM20	Vacant
M	192-16-3634	Robin & G Powell Et Al	JLM20	Single Family
N	192-16-2255	Ken McKeegan, Trustee	JLM20	Vacant
O	192-16-2972	First Baptist Church of Sycoline	JLM20	Church
P	192-16-2984	Ken McKeegan, Trustee	JLM20	Vacant
Q	192-26-2400	Town of Leesburg	JLM20	Single Family

SHEET INDEX

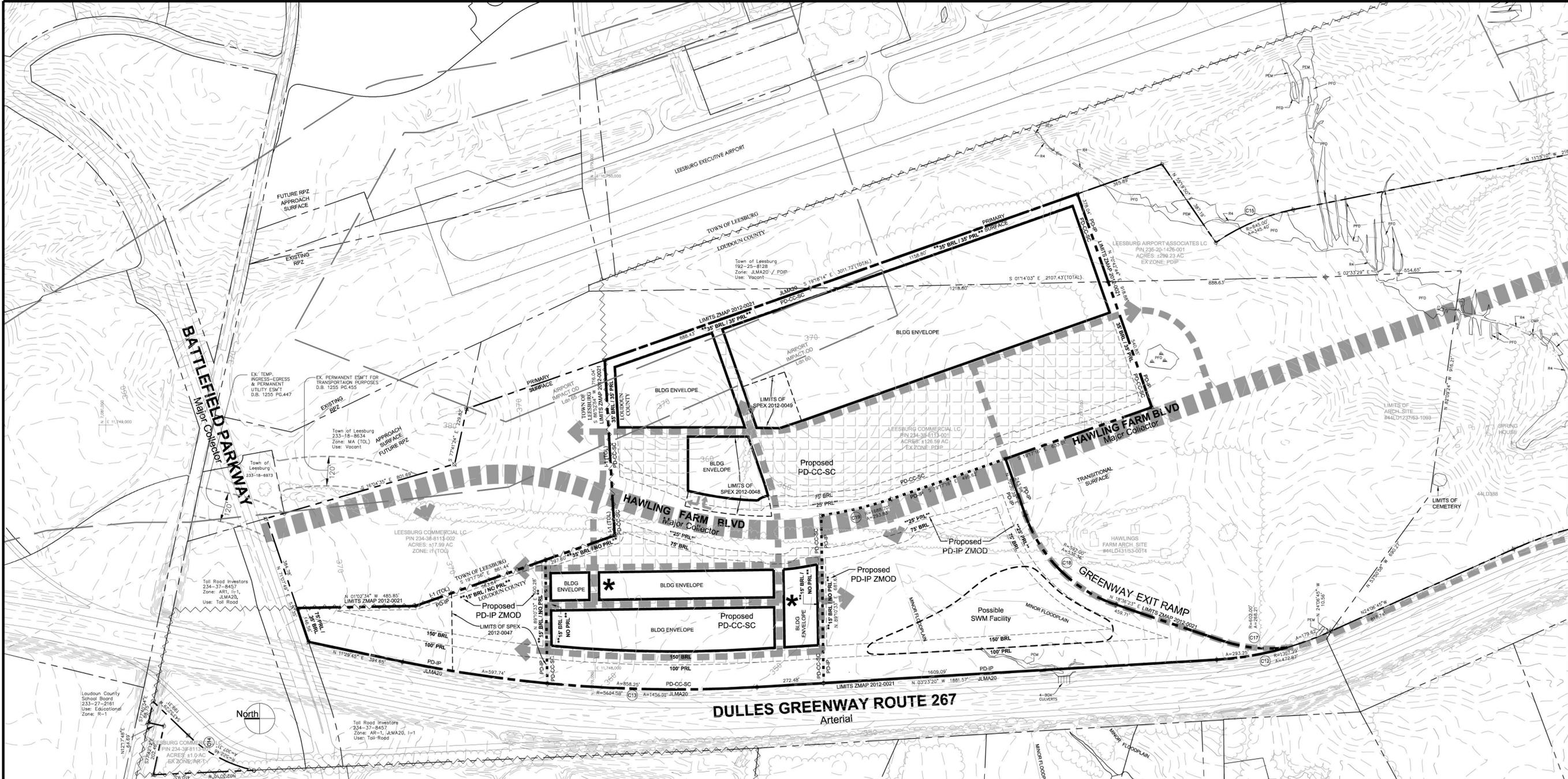
- COVER SHEET / EXISTING CONDITIONS
- CONCEPT DEVELOPMENT PLAN
- PEDESTRIAN & BIKE NETWORK AND OPEN SPACE PLAN
- UTILITIES PLAN
- SPECIAL EXCEPTION 2012-0047 Hotel
- SPECIAL EXCEPTION 2012-0048 Gas Pumps
- SPECIAL EXCEPTION 2012-0049 Outdoor Sales

APPLICANT		OWNER	
THE PETERSON COMPANIES LC 12500 FAIR LAKES CIRCLE SUITE 400 FAIRFAX, VA 22033		LEESBURG COMMERCIAL LC / LEESBURG AIRPORT ASSOCIATES LC 12500 FAIR LAKES CIRCLE SUITE 400 FAIRFAX, VA 22033	
APPLICANT	DATE	Planning/Engineer: Land Attorney: Traffic Engineer:	DEWBERRY REED SMITH LLP GOROVE/SLADE ASSOCIATES, INC
Plan Number			
Drawn By ZJH			
Designed By ZJH			
Checked By WF			
Date January 25, 2013			
Scale 1" = 200'			
Sheet 1 of 7			
File Number			
NO.	DATE	DESCRIPTION	BY

Dewberry
 Dewberry & Davis LLC
 1500 Edwards Ferry Road, Suite 200, Leesburg, Virginia 20176
 Phone 703.771.8004 Metro 703.478.1335 Fax 703.771.4091
 www.dewberry.com

COVER SHEET
 EXISTING CONDITIONS

CROSSTRAIL COMMERCIAL CENTER
 ZONING MAP AMENDMENT
 ZMAP 2012-0021
 Loudoun County, Virginia
 Catoclin Election District



MODIFICATIONS	Project Boundary	Proposed Zoning District Boundary	Approximate Travelway
4-205(C)(1)(c) Adjacent to Roads LCZO Requirement: - 35' setback for building, parking, outdoor storage, areas for collection of refuse, and loading areas adjacent to any road right-of-way. Requested Modification: - Reduce the Parking setback to 25' adjacent to Hawling Farm Blvd	PD-CC-SC Building Envelope	PD-CC-SC Parking Area	Outdoor Gathering Space
4-205(C)(2) Adjacent to Agricultural & Residential Districts LCZO Requirement: - 100' setback to any agriculture or existing or planned residential districts for building, parking, outdoor storage, areas for collection of refuse, or loading areas. Requested Modification: - Reduce the setback to 35' adjacent to the Town of Leesburg parcel PIN 192-25-8128.	Modified Setback	Subject Property Boundary	Adjacent Property
4-205(C)(3) Adjacent to Other Nonresidential Districts LCZO Requirement: - 35' setback for building, parking, outdoor storage, and loading areas adjacent to other nonresidential districts. Requested Modification: - Eliminate the parking setback to adjacent PD-CC-SC and I-1 zoned property in the PD-IP and I-1 zoned lands west of Hawling Farm Boulevard.	2' Topographic Contours	Existing Tree Canopy	Leesburg Airport Ldn Contours
4-505(B)(3) Adjacent to Other Nonresidential Districts LCZO Requirement: - 15' setback for building, parking, outdoor storage, and loading areas adjacent to other nonresidential districts. Requested Modification: - Eliminate the parking setback to adjacent PD-CC-SC and I-1 zoned property in the PD-IP and I-1 zoned lands west of Hawling Farm Boulevard.	Town of Leesburg Jurisdictional Boundary	Existing Wetlands	Leesburg Airport Air Surfaces
4-505(B)(3) Adjacent to Other Nonresidential Districts LCZO Requirement: - 15' setback for building, parking, outdoor storage, and loading areas adjacent to other nonresidential districts. Requested Modification: - Eliminate the parking setback to adjacent PD-CC-SC and I-1 zoned property in the PD-IP and I-1 zoned lands west of Hawling Farm Boulevard.	Archeological Site Limits	Floodplain	

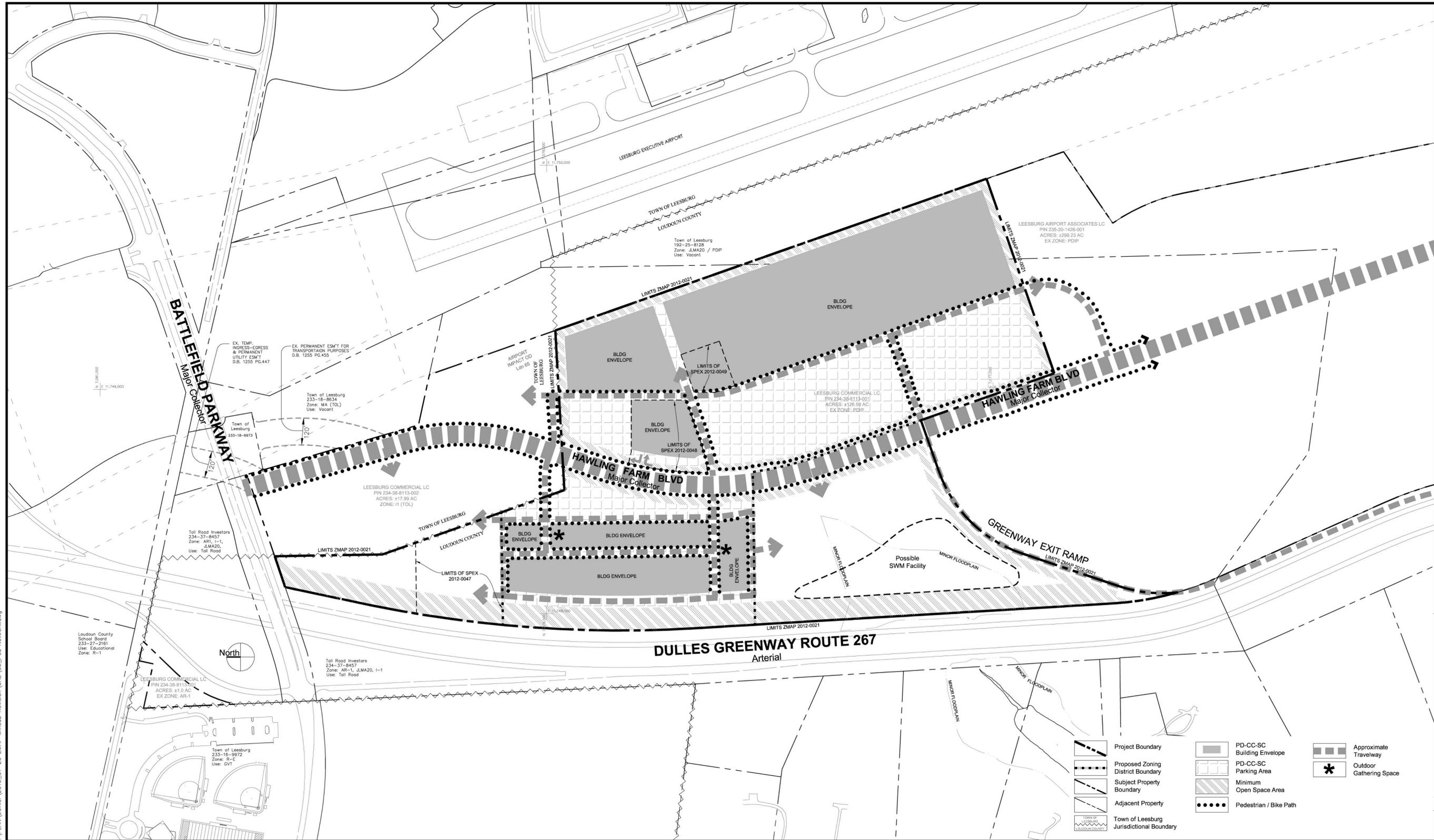
SITE DESCRIPTION	PD-CC-SC STANDARDS	PD-CC-SC STANDARDS (Continued)	PD-IP STANDARDS (Continued)
TOTAL AREA OF SUBJECT PARCELS: 444.81 AC TOTAL AREA OF PROJECT: 85.7 AC AREA TO BE REZONED TO PD-CC-SC: 57.4 AC AREA OF INCLUDED PD-IP: 23.3 AC APPROXIMATE AREA RIGHT-OF-WAY: 4.8 AC	PD-CC-SC AREA: 57.4 AC EXISTING ZONING: PD-IP PROPOSED ZONING: PD-CC-SC PROPOSED USE: 650,000 SF PD-CC-SC Uses excluding Office / 100,000 SF Office	4-206 Building Requirements Lot Coverage: No Maximum Floor Area Ratio: 40 Maximum for surface parking Building Height: 45; 50 Maximum if setback 1' for each 1' that the height exceeds 45' Vehicle Access: Major Collector Pedestrian Access: Provide a circulation plan	4-503 Permitted Uses / 4-504 Special Exception Uses - Per Ordinance 4-505 Lot Requirements Size: 1 Acre Minimum, exclusive of major floodplain Yards: - 35' setback to any road right-of-way for building, outdoor storage, areas for collection of refuse, or loading areas - 25' setback to any road right-of-way for parking - 75' setback for building, outdoor storage, areas for collection of refuse, or loading areas; 35' setback for parking to any agriculture, existing or planned residential districts, and loading areas adjacent to other nonresidential districts
GENERAL STANDARDS Summary of Requirements (Refer to the Revised 1993 Loudoun County Zoning Ordinance for full text) 5-900 Building and Parking Setbacks from Specific Roads Route 267: - 150' Building, 100' Parking Other Collector Roads: (Modified) - 75' Building, 35' Parking Ramps at grade separated interchanges: (Modified) - 75' Building, 35' Parking	4-202 Purpose, Size and Location of Districts Small Regional Center (SC): - Located with controlled access to major collector roads - Minimum 20 acres / Maximum 60 acres 4-203 Permitted Uses / 4-204 Special Exception Uses - Per Ordinance 4-205 Lot Requirements Size: No Minimum Width: No Minimum Yards: (Modified) - 35' setback to any road right-of-way for building, parking, outdoor storage, areas for collection of refuse, or loading areas (Modified) - 100' setback to any agriculture, existing or planned residential districts for building, parking, outdoor storage, areas for collection of refuse, or loading areas (Modified) - 35' setback adjacent to other nonresidential districts for building, parking, outdoor storage, and loading areas	4-207 Use Limitations Landscape Open Space: 20 times the buildable area of the commercial center (± 11.5 Acres) PD-IP STANDARDS PD-IP AREA: 23.3 AC EXISTING ZONING: PD-IP PROPOSED ZONING: PD-IP (with zoning modifications) PROPOSED USE: ± 410,000 SF PD-IP Uses (0.40 FAR) Summary of PD-IP Requirements (Refer to the Revised 1993 Loudoun County Zoning Ordinance for full text) 4-502 Purpose, Size and Location of Districts - served by major collector roads - served by public water and sewer - Minimum 20 acres - Per Ordinance - Per Ordinance - Per Ordinance - Per Ordinance	4-506 Building Requirements Lot Coverage: 45 Maximum Building Height: 45; 100 Maximum if setback 1' for each 1' that the height exceeds 45' Floor Area Ratio: 40 Maximum; up to 60 by Special Exception 4-507 Use Limitations Landscape Open Space: 20 times the buildable area of the individual lot - Per Ordinance - Per Ordinance - Per Ordinance - Per Ordinance - Per Ordinance except where specifically modified
			4-508 Building Requirements Lot Coverage: 45 Maximum Building Height: 45; 100 Maximum if setback 1' for each 1' that the height exceeds 45' Floor Area Ratio: 40 Maximum; up to 60 by Special Exception 4-507 Use Limitations Landscape Open Space: 20 times the buildable area of the individual lot - Per Ordinance - Per Ordinance - Per Ordinance - Per Ordinance - Per Ordinance except where specifically modified
			4-505(B)(3) Adjacent to Other Nonresidential Districts LCZO Requirement: - 15' setback for building, parking, outdoor storage, and loading areas adjacent to other nonresidential districts. Requested Modification: - Eliminate the parking setback to adjacent PD-CC-SC and I-1 zoned property in the PD-IP and I-1 zoned lands west of Hawling Farm Boulevard.
			Setbacks to Specific Roads Modifications 5-900(A)(10)(b) & (A)(13)(b) Building & Parking Setbacks from Major Collectors and Ramps at grade separated interchanges LCZO Requirement: - 35' Parking Setback Requested Modification: - Reduce the Parking setback to 25' adjacent to Hawling Farm Blvd and the Greenway exit ramp

NOTES
1. BUILDING ENVELOPES REPRESENT THE MAXIMUM LIMITS OF BUILDING LOCATIONS. ARE APPROXIMATE. DO NOT REPRESENT DIMENSIONED FOOTPRINTS OF ACTUAL BUILDINGS. AND DO NOT RESTRICT THE LOCATION OF PARKING, TRAVELWAYS, SIDEWALKS, PEDESTRIAN SPACES, OR OTHER FEATURES. AT SITE PLAN, AREAS OF BUILDING ENVELOPES NOT OCCUPIED BY BUILDINGS MAY BE USED FOR FEATURES SUCH AS BUT NOT LIMITED TO PARKING, TRAVELWAYS, PEDESTRIAN PATHS, AND OPEN SPACE.
2. AT A MINIMUM, PARKING SHALL BE PROVIDED TO SATISFY THE REQUIREMENTS OF THE REVISED 1993 LOUDOUN COUNTY ZONING ORDINANCE. PARKING MAY BE LOCATED ANYWHERE WITHIN IN AREAS IDENTIFIED AS PARKING AREA AND BUILDING ENVELOPE (REFER TO NOTE 1).
3. THE LOCATIONS OF THE OUTDOOR GATHERING SPACES ARE APPROXIMATE AND MAY BE RELOCATED ANYWHERE THAT IS 1) WITHIN 500' OF THE DEPICTED LOCATION AND 2) WITHIN THE PD-CC-SC DISTRICT.

Plan Number	
Drawn By	ZJH
Designed By	ZJH
Checked By	WF
Date	January 25, 2013
Scale	1" = 200'
Sheet	2 of 7
File Number	

Plotted: Jan 30, 2013 at 10:40am
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Plotted: Jan 30, 2013 at 10:51am
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	Project Boundary		PD-CC-SC Building Envelope		Approximate Travelway
	Proposed Zoning District Boundary		PD-CC-SC Parking Area		Outdoor Gathering Space
	Subject Property Boundary		Minimum Open Space Area		Pedestrian / Bike Path
	Adjacent Property				
	Town of Leesburg Jurisdictional Boundary				

DEVELOPMENT AREA SUMMARY

The following tabulation is for reference only. Refer to the Concept Development Plan for the project development requirements.

Total PD-CC-SC Area:	= 57.4 AC
Proposed Floor Area (Maximum):	= 14.9 AC (650,000 SF) 26%
Proposed Open Space (Minimum):	= 11.5 AC 20%
Remaining Area (Parking & Open Space):	= 31.0 AC 54%
Total PD-IP Area:	= 23.5 AC
Proposed Floor Area (Maximum):	= 9.4 AC (410,000 SF) 40%
Proposed Open Space (Minimum):	= 4.7 AC 20%
Remaining Area (Parking, Open Space, SWM):	= 9.4 AC 40%

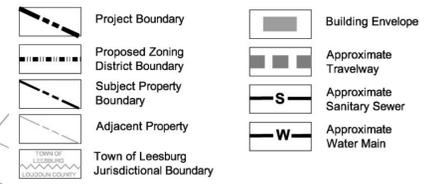
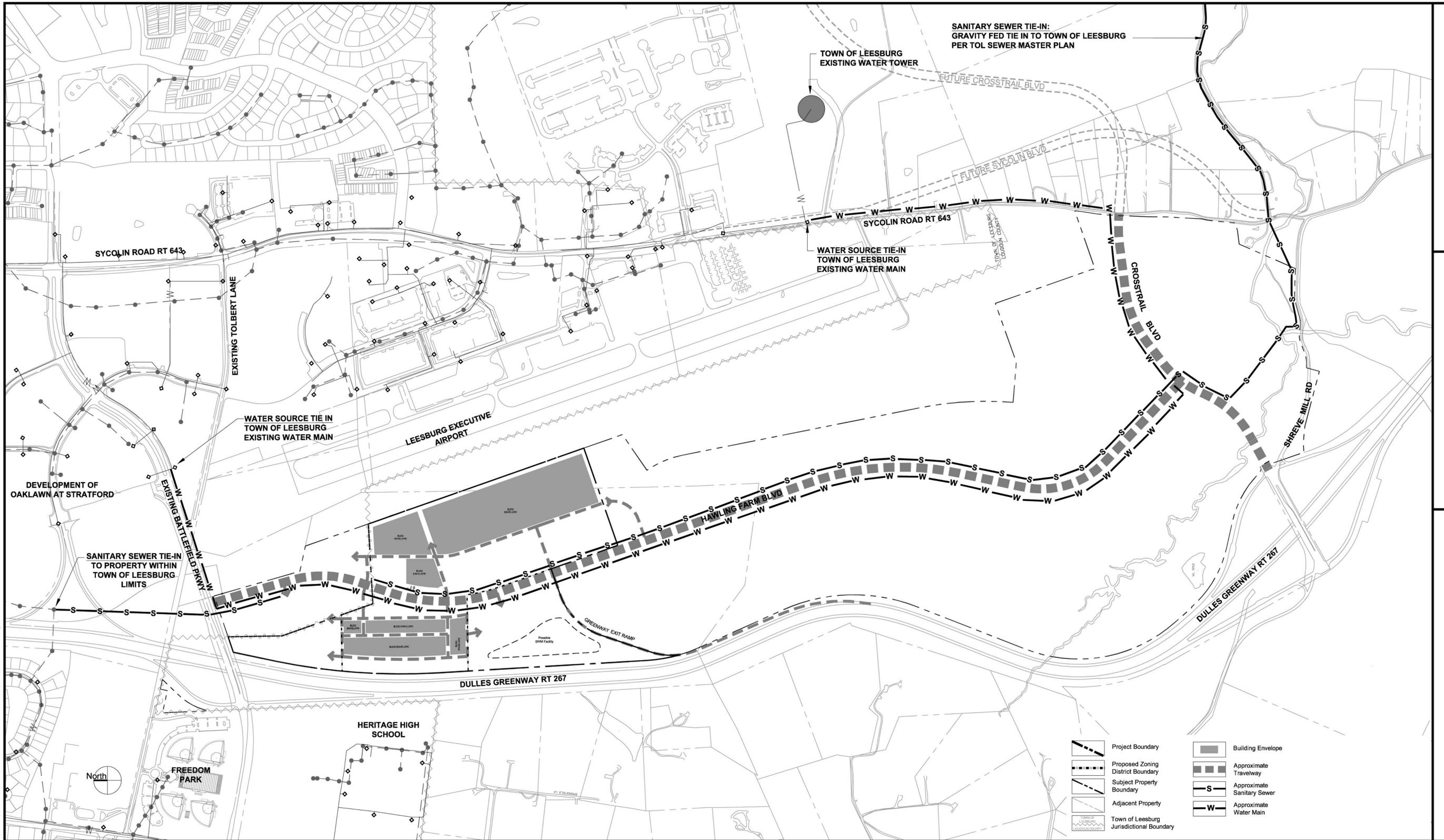
NOTES

- BUILDING ENVELOPES REPRESENT THE MAXIMUM LIMITS OF BUILDING LOCATIONS, ARE APPROXIMATE, DO NOT REPRESENT DIMENSIONED FOOTPRINTS OF ACTUAL BUILDINGS, AND DO NOT RESTRICT THE LOCATION OF PARKING, TRAVELWAYS, SIDEWALKS, PEDESTRIAN SPACES, OR OTHER FEATURES. AT SITE PLAN, AREAS OF BUILDING ENVELOPES NOT OCCUPIED BY BUILDINGS MAY BE USED FOR FEATURES SUCH AS BUT NOT LIMITED TO PARKING, TRAVELWAYS, PEDESTRIAN PATHS, AND OPEN SPACE.
- AT A MINIMUM, PARKING SHALL BE PROVIDED TO SATISFY THE REQUIREMENTS OF THE REVISED 1993 LOUDOUN COUNTY ZONING ORDINANCE. PARKING MAY BE LOCATED ANYWHERE WITHIN IN AREAS IDENTIFIED AS PARKING AREA AND BUILDING ENVELOPE (REFER TO NOTE 1).
- THE LOCATIONS OF THE OUTDOOR GATHERING SPACES ARE APPROXIMATE AND MAY BE RELOCATED ANYWHERE THAT IS 1) WITHIN 500' OF THE DEPICTED LOCATION AND 2) WITHIN THE PD-CC-SC DISTRICT.
- PEDESTRIAN PATHS WILL BE A MINIMUM 5' WIDTH. ALONG HAWLING FARM BLVD, AT A MINIMUM, THERE SHALL BE A 10' ASPHALT TRAIL ON ONE SIDE OF THE ROADWAY AND A 6' SIDEWALK ON THE OPPOSITE SIDE.

NO.	DATE	DESCRIPTION	BY

Plan Number	
Drawn By	ZJH
Designed By	ZJH
Checked By	WF
Date	January 25, 2013
Scale	1" = 200'
Sheet	3 of 7
File Number	

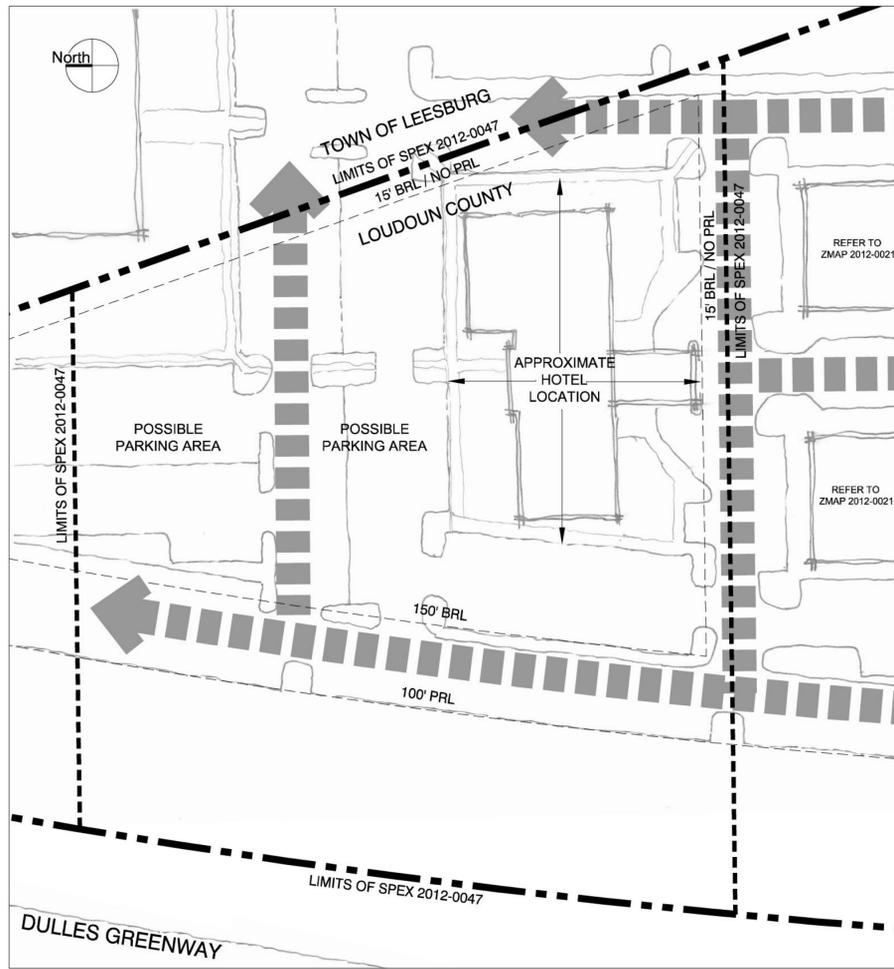
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NOTES

- THIS IS FOR APPROXIMATE UTILITY LOCATIONS ONLY. DEPICTED BUILDING ENVELOPES AND TRAVELWAYS ARE FOR REFERENCE ONLY. REFER TO SHEET 2, THE CONCEPT DEVELOPMENT PLAN, FOR PROPOSED PLAN.
- UTILITY ALIGNMENTS DESCRIBED AND DEPICTED ARE APPROXIMATE AND MAY CHANGE SUBJECT TO FINAL ENGINEERING.
- THIS PROPERTY IS WITHIN THE TOWN OF LEESBURG SEWER SERVICE AREA AND IS ANTICIPATED TO BE SUPPLIED WITH PUBLIC SEWER AND WATER BY THE TOWN OF LEESBURG.

NO.	DATE	DESCRIPTION	BY



SPECIAL EXCEPTION DESCRIPTION

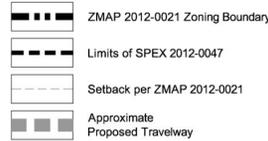
SPECIAL EXCEPTION AREA: ± 4.0 AC
 ZONING (Per ZMAP 2012-0021): PD-IP
 PROPOSED SPECIAL EXCEPTION USES: Hotel / Motel
 Per LCZO Section 4-504(G)

PD-IP STANDARDS

PD-IP AREA: ± 23.5 AC
 EXISTING ZONING: PD-IP
 PROPOSED ZONING: PD-IP
 PROPOSED HOTEL USE: Maximum 200,000 SF

Summary of PD-IP Requirements
 (Refer to the Revised 1993 Loudoun County Zoning Ordinance for full text)

4-502 Purpose, Size and Location of Districts	Proposed Standards
- served by major collector roads	- Per Ordinance
- served by public water and sewer	- Per Ordinance
- Minimum 20 acres	- Per Ordinance
4-503 Permitted Uses / 4-504 Special Exception Uses	- Per Ordinance
4-505 Lot Requirements	- Per Ordinance
Size: 1 Acre Minimum, exclusive of major floodplain	- Per Ordinance except where modified by ZMAP 2012-0021
Yards:	- Per Ordinance except where modified by ZMAP 2012-0021
- 30' setback to any road right-of-way for building, outdoor storage, areas for collection of refuse, or loading areas.	- Per Ordinance except where modified by ZMAP 2012-0021
- 25' setback to any road right-of-way for parking	- Per Ordinance except where modified by ZMAP 2012-0021
- 75' setback for building, outdoor storage, areas for collection of refuse, or loading areas; 30' setback for parking to any agriculture, existing or planned residential districts.	- Per Ordinance except where modified by ZMAP 2012-0021
- 15' setback for building, parking, outdoor storage, and loading areas adjacent to other nonresidential districts	- Per Ordinance
4-506 Building Requirements	- Per Ordinance
Lot Coverage: 45% Maximum	- Per Ordinance
Building Height: 45' 100' Maximum if setback 1' for each 1 that the height exceeds 45'	- Per Ordinance
Floor Area Ratio: 40 Maximum; up to 60 by Special Exception	- Per Ordinance
4-507 Use Limitations	- Per Ordinance
Landscape Open Space: 20 times the buildable area of the individual lot	- Per Ordinance



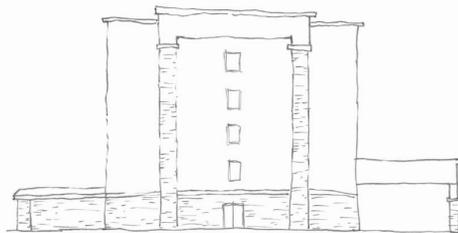
ILLUSTRATIVE ELEVATIONS
NOT TO SCALE



Illustrative Front Elevation



Illustrative Rear Elevation



Illustrative Side Elevation

Plotted: Jan 24, 2013 at 2:45pm
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GENERAL NOTES

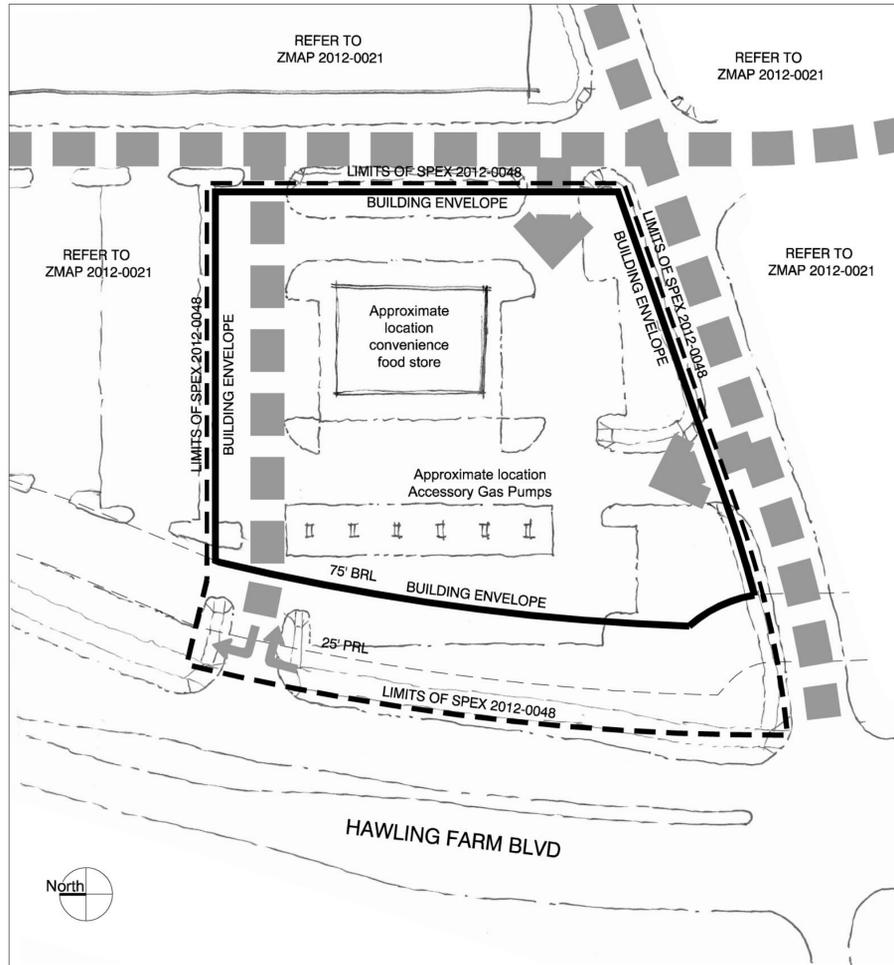
- 1) THE SITE LAYOUT DEPICTED IS A PROTOTYPE AND MAY BE MODIFIED AT SITE PLAN CONSISTENT WITH THE REQUIREMENTS OF THE LOUDOUN COUNTY REVISED 1993 ZONING ORDINANCE, FSM, LSDO, AND ZMAP 2012-0021.
- 2) BUILDINGS, ACCESS POINTS, TRAVELWAYS, AND FEATURES DEPICTED OUTSIDE THE LIMITS OF THE SPECIAL EXCEPTION ARE ILLUSTRATIVE AND MAY BE MODIFIED AT SITE PLAN.
- 3) THE BUILDING ELEVATIONS DEPICTED ARE ILLUSTRATIVE AND MAY BE MODIFIED.
- 4) LIGHTING WILL BE DOWNWARD DIRECTED AND DESIGNED TO MEET THE REQUIREMENTS OF FSM CHAPTER 7.
- 5) SIGNAGE WILL BE DESIGNED TO MEET THE REQUIREMENTS OF THE REVISED 1993 LCZO SECTION 5-1200 UNLESS OTHERWISE MODIFIED BY A COMPREHENSIVE SIGN PLAN ZONING AMENDMENT.

NO.	DATE	DESCRIPTION	BY

Plan Number	
Drawn By	ZJH
Designed By	ZJH
Checked By	WF
Date	January 25, 2013
Scale	AS NOTED
Sheet	5 of 7

SPEX 2012-0048 | PD-CC-SC -- ACCESSORY GAS PUMPS ACCESSORY
SCALE 1" = 50'

ILLUSTRATIVE ELEVATIONS
NOT TO SCALE



Illustrative Front Elevation

SPECIAL EXCEPTION DESCRIPTION

SPECIAL EXCEPTION AREA: = 2.5 AC
ZONING (Per ZMAP 2012-0021): PD-CC-SC
PROPOSED SPECIAL EXCEPTION USES: Gas Pumps accessory to a convenience food store
Per LCZO Section 4-204(B)(4) & (C)(1)

- Limits of SPEX 2012-0048X
- Setback per ZMAP 2012-0021
- Approximate Proposed Travelway

PD-CC-SC STANDARDS

TOTAL PD-CC-SC AREA: = 57.4 AC
PERMITTED USES (Per ZMAP 2012-0021): 650,000 SF

Summary of PD-CC-SC Requirements

(Refer to the Revised 1993 Loudoun County Zoning Ordinance for full text)

4-202 Purpose, Size and Location of Districts	Proposed Standards
Small Regional Center (SC): - located with controlled access to major collector roads - Minimum 20 acres / Maximum 60 acres	- Per Ordinance - Per Ordinance
4-203 Permitted Uses / 4-204 Special Exception Uses	- Per Ordinance
4-205 Lot Requirements	- Per Ordinance
Size: No Minimum	- Per Ordinance
Width: No Minimum	- Per Ordinance
Yards: - 35' setback to any road right-of-way for building, parking, outdoor storage, areas for collection of refuse, or loading areas	- Per Ordinance except where modified by ZMAP 2012-0021
- 100' setback to any agriculture, existing or planned residential districts for building, parking, outdoor storage, areas for collection of refuse, or loading areas	- Per Ordinance except where modified by ZMAP 2012-0021
- 35' setback adjacent to other nonresidential districts for building, parking, outdoor storage, and loading areas	- Per Ordinance except where modified by ZMAP 2012-0021
4-206 Building Requirements	- Per Ordinance
Lot Coverage: No Maximum	- Per Ordinance
Floor Area Ratio: 40 Maximum for surface parking, 60 Maximum if structured parking	- Per Ordinance
Building Height: 45' 50' Maximum if setback 1' for each 1' that the height exceeds 45'	- Per Ordinance
Vehicular Access: Major Collector	- Per Ordinance
Pedestrian Access: Provide a circulation plan	- Refer to Sheet 3
4-207 Use Limitations	- Per Ordinance
Landscaped Open Space: 20 times the buildable area of the commercial center	- Per Ordinance

GENERAL NOTES

- THE SITE LAYOUT DEPICTED IS A PROTOTYPE AND MAY BE MODIFIED AT SITE PLAN CONSISTENT WITH THE REQUIREMENTS OF THE LOUDOUN COUNTY REVISED 1993 ZONING ORDINANCE, FSM, LSDO, AND ZMAP 2012-0021.
- BUILDINGS, ACCESS POINTS, TRAVELWAYS, AND FEATURES DEPICTED OUTSIDE THE LIMITS OF THE SPECIAL EXCEPTION AREA ILLUSTRATIVE AND MAY BE MODIFIED AT SITE PLAN.
- THE BUILDING ELEVATIONS DEPICTED ARE ILLUSTRATIVE AND MAY BE MODIFIED.
- LIGHTING WILL BE DOWNWARD DIRECTED AND DESIGNED TO MEET THE REQUIREMENTS OF FSM CHAPTER 7.
- SIGNAGE WILL BE DESIGNED TO MEET THE REQUIREMENTS OF THE REVISED 1993 LCZO SECTION 5-1200 UNLESS OTHERWISE MODIFIED BY A COMPREHENSIVE SIGN PLAN ZONING AMENDMENT.

NO.	DATE	DESCRIPTION	BY

Plan Number	
Drawn By	ZJH
Designed By	ZJH
Checked By	WF
Date	January 25, 2013
Scale	AS NOTED
Sheet	6 of 7

SPEX 2012-0048 ACCESSORY GAS PUMPS

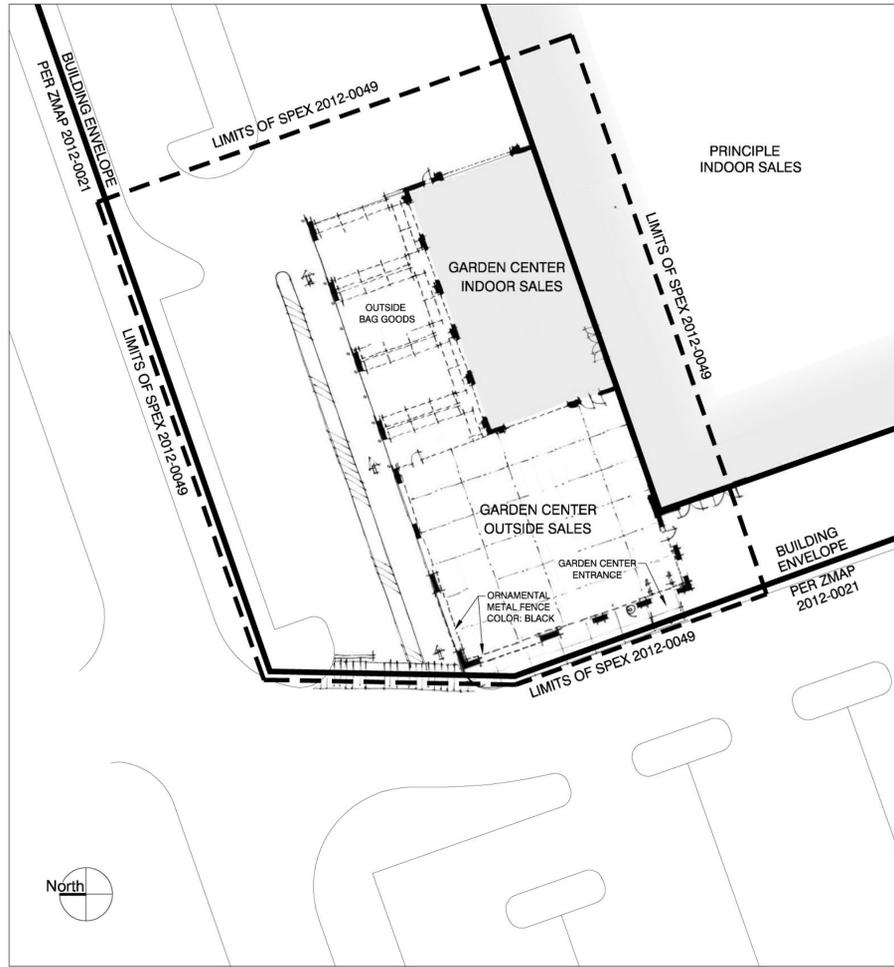
CROSSTRAIL COMMERCIAL CENTER
ZONING MAP AMENDMENT
ZMAP 2012-0021

Dewberry
Dewberry & Davis LLC
1503 Edwards Ferry Road, Suite 200, Leesburg, Virginia 20176
Phone 703.771.8004 Metro 703.478.1335 Fax 703.771.4091
www.dewberry.com

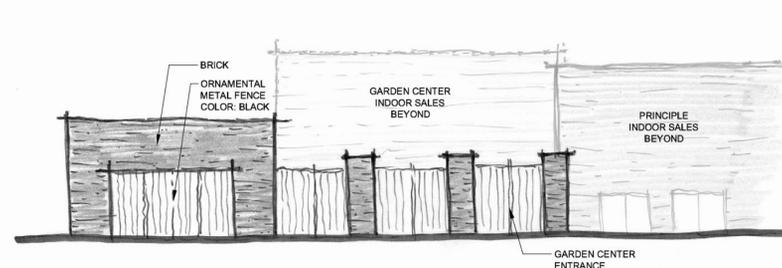
Catoctin Election District
Loudoun County, Virginia

Plotted: Jan 24, 2013 at 2:43pm
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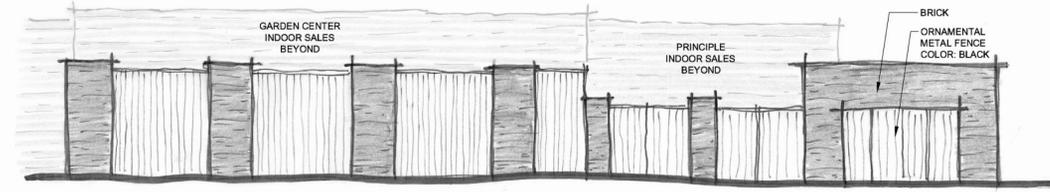
SPEX 2012-0049 | PD-CC-SC -- ACCESSORY OUTDOOR SALES AREA
SCALE 1" = 30'



ILLUSTRATIVE ELEVATIONS
NOT TO SCALE



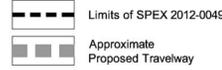
Illustrative Front Elevation



Illustrative Side Elevation

SPECIAL EXCEPTION DESCRIPTION

SPECIAL EXCEPTION AREA: ± 1.0 AC
ZONING (Per ZMAP 2012-0021): PD-CC-SC
PROPOSED SPECIAL EXCEPTION USES: Outdoor Sales Area, Accessory
Per LCZO Section 4-204(B)(6) & (C)(1)



PD-CC-SC STANDARDS

TOTAL PD-CC-SC AREA: ± 57.4 AC
PERMITTED USES (Per ZMAP 2012-0021): 650,000 SF

Summary of PD-CC-SC Requirements
(Refer to the Revised 1993 Loudoun County Zoning Ordinance for full text)

4-202 Purpose, Size and Location of Districts

Small Regional Center (SC):
- located with controlled access to major collector roads
- Minimum 20 acres / Maximum 60 acres

Proposed Standards:
- Per Ordinance
- Per Ordinance

4-203 Permitted Uses / 4-204 Special Exception Uses

- Per Ordinance

4-205 Lot Requirements

Size: No Minimum
Width: No Minimum

- Per Ordinance
- Per Ordinance

Yards:

- 35' setback to any road right-of-way for building, parking, outdoor storage, areas for collection of refuse, or loading areas.

- Per Ordinance except where modified by ZMAP 2012-0021

- 100' setback to any agriculture, existing or planned residential districts for building, parking, outdoor storage, areas for collection of refuse, or loading areas.

- Per Ordinance except where modified by ZMAP 2012-0021

- 35' setback adjacent to other nonresidential districts for building, parking, outdoor storage, and loading areas.

- Per Ordinance except where modified by ZMAP 2012-0021

4-206 Building Requirements

Lot Coverage: No Maximum
Floor Area Ratio: 40 Maximum for surface parking, 60 Maximum if structured parking

- Per Ordinance
- Per Ordinance

Building Height: 45' 50' Maximum if setback 1' for each 1' that the height exceeds 45'

- Per Ordinance

Vehicular Access: Major Collector
Pedestrian Access: Provide a circulation plan

- Per Ordinance
- Refer to Sheet 3

4-207 Use Limitations

Landscaped Open Space: 20 times the buildable area of the commercial center

- Per Ordinance

GENERAL NOTES

- 1) THE SITE LAYOUT DEPICTED IS A PROTOTYPE AND MAY BE MODIFIED AT SITE PLAN CONSISTENT WITH THE REQUIREMENTS OF THE LOUDOUN COUNTY REVISED 1993 ZONING ORDINANCE, FSM, LSDO, AND ZMAP 2012-0021.
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- 3) THE BUILDING ELEVATIONS DEPICTED ARE ILLUSTRATIVE AND MAY BE MODIFIED.
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- 5) SIGNAGE WILL BE DESIGNED TO MEET THE REQUIREMENTS OF THE REVISED 1993 LCZO SECTION 5-1200 UNLESS OTHERWISE MODIFIED BY A COMPREHENSIVE SIGN PLAN ZONING AMENDMENT.

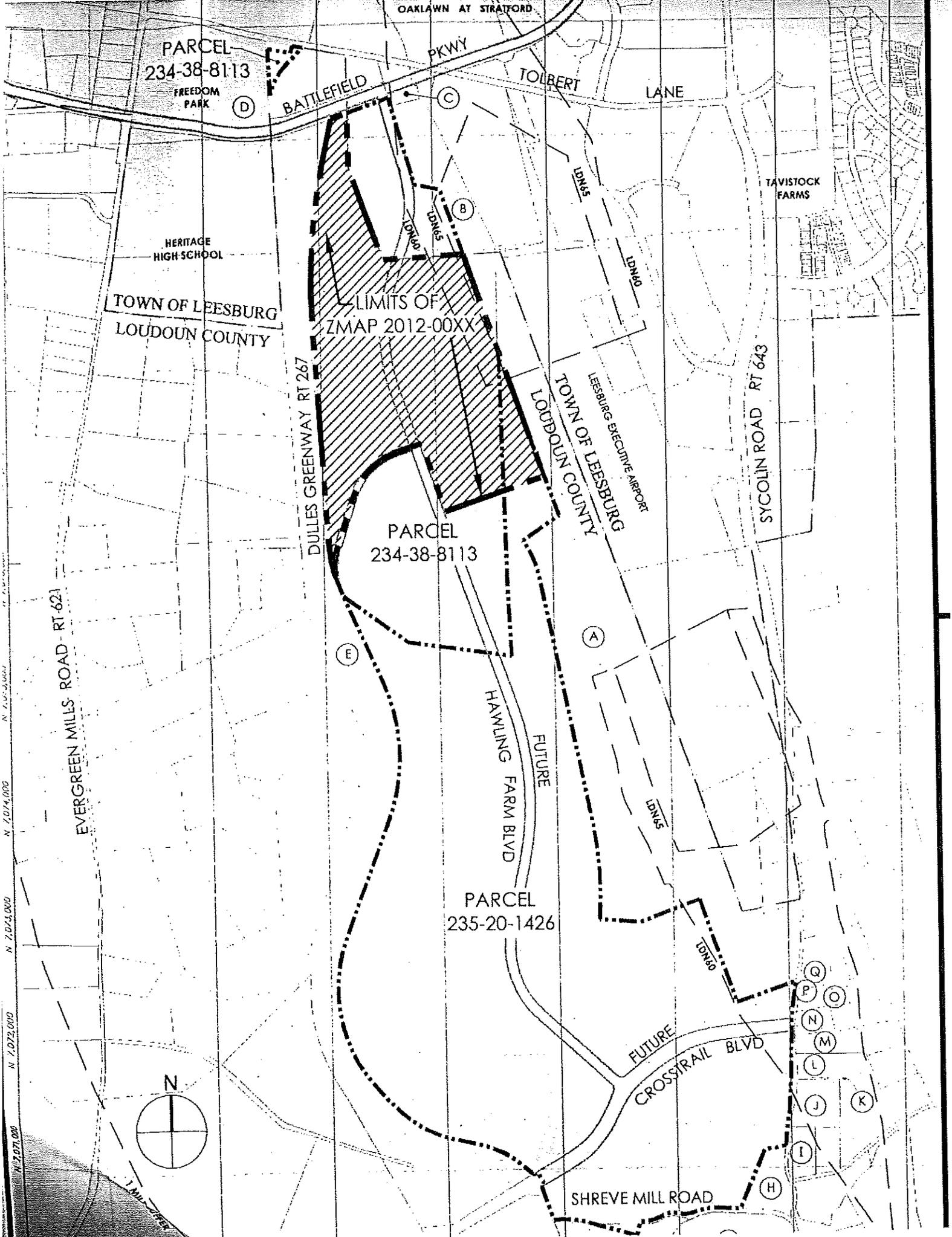
NO.	DATE	DESCRIPTION	BY

Dewberry
Dewberry & Davis LLC
1503 Edwards Ferry Road, Suite 200, Leesburg, Virginia 20176
Phone 703.771.8004 Metro 703.478.1335 Fax 703.771.4091
www.dewberry.com

SPEX 2012-0049 OUTDOOR SALES

CROSSTRAIL COMMERCIAL CENTER
ZONING MAP AMENDMENT
ZMAP 2012-0021
Loudoun County, Virginia
Catotchin Election District

Plan Number	
Drawn By	ZJH
Designed By	ZJH
Checked By	WF
Date	January 25, 2013
Scale	AS NOTED
Sheet	7 of 7



PARCEL
234-38-8113

FREEDOM
PARK

(D)

BATTLEFIELD

OAKLAWN AT STRATFORD

PKNY

TOLBERT

LANE

(C)

HERITAGE
HIGH SCHOOL

TOWN OF LEESBURG
LOUDOUN COUNTY

LIMITS OF
ZMAP 2012-00XX

PARCEL
234-38-8113

DULLES GREENWAY RT 267

LEESBURG EXECUTIVE AIRPORT
TOWN OF LEESBURG
LOUDOUN COUNTY

TAVISTOCK
FARMS

SYCOLIN ROAD RT 643

EVERGREEN MILLS ROAD RT 621

(E)

HAWLING FARM BLVD
FUTURE

PARCEL
235-20-1426

(A)

FUTURE
CROSSRAIL BLVD

SHREVE MILL ROAD

(P)

(O)

(N)

(M)

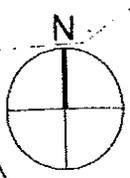
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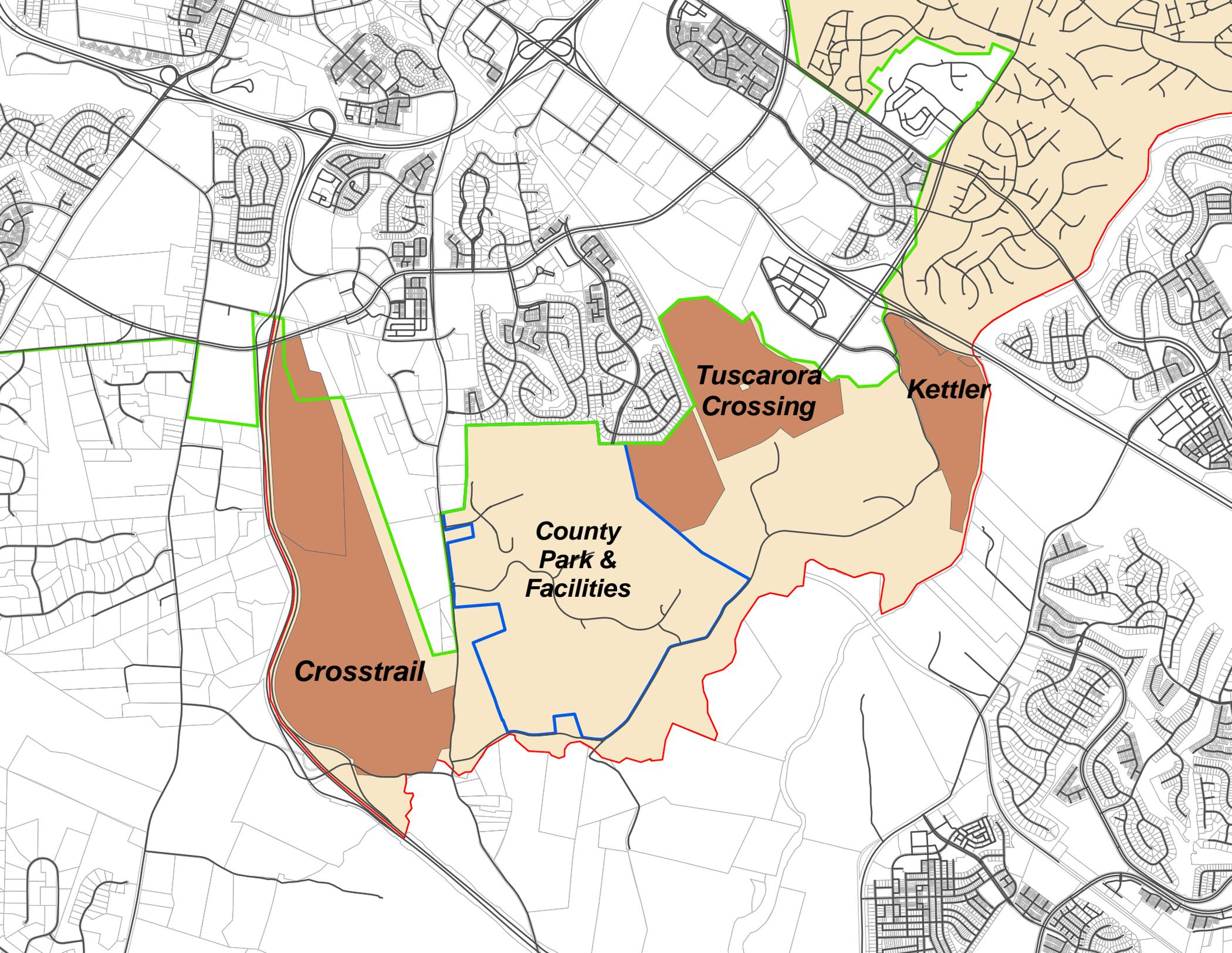
(K)

(I)

(H)



N 7,074,000
N 7,074,000
N 7,073,000
N 7,072,000
N 7,071,000



Crosstrail

**County
Park &
Facilities**

**Tuscarora
Crossing**

Kettler