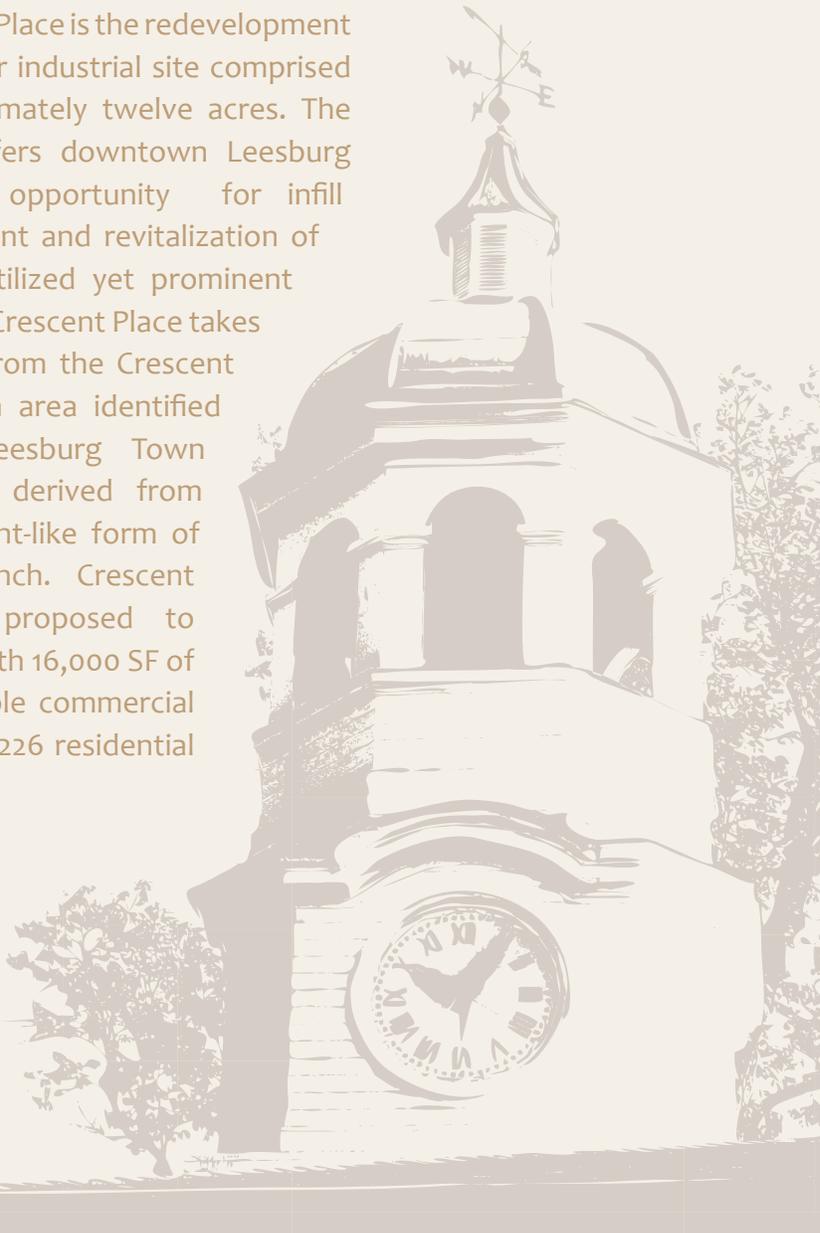


Crescent Place

TABLE OF CONTENTS & INTRODUCTION

Design Guidelines

Crescent Place is the redevelopment of a former industrial site comprised of approximately twelve acres. The project offers downtown Leesburg a unique opportunity for infill development and revitalization of an underutilized yet prominent property. Crescent Place takes its name from the Crescent District, an area identified in the Leesburg Town Plan, and derived from the crescent-like form of Town Branch. Crescent Place is proposed to develop with 16,000 SF of highly visible commercial space and 226 residential units.



SETTING & PLAN

- INTRODUCTION
- CONTEXT
- SITE PLAN
- TYPICAL LOT LAYOUTS
- SURROUNDING PROPERTY



ARCHITECTURE

- ARCHITECTURAL STYLE
- BUILDING TYPOLOGY
- ARCHITECTURAL DESIGN
- MATERIALS & DETAILS



STREETScape & AMENITIES

- OPEN SPACE & PEDESTRIAN PLAN
- HARRISON ST. ENTRANCE PLAN
- BOULEVARD PLAZA PLAN
- COMMERCIAL & TOWN PARKING LOT PLAN
- POCKET PARK PLAN
- LANDSCAPE & STREETScape MATERIALS PALLET
- SITE FURNISHINGS
- LANDSCAPE PLANTINGS
- OTHER SITE FEATURES



APPENDIX

- ARCHITECTUAL ELEVATIONS



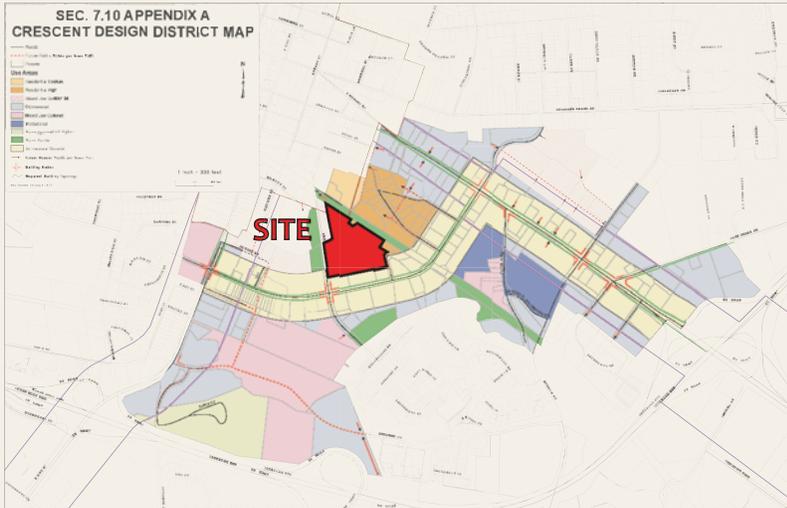
LANSDOWNE
DEVELOPMENT GROUP

Crescent Place

CONTEXT



SETTING & PLAN



CRESCENT DESIGN DISTRICT MAP



SITE AERIAL

Located in the Crescent District along the boundary of the historic district, the site is a short distance from downtown. Surrounding uses are predominately older, non-historic, commercial buildings. The site is located a quarter mile or a five minute walk from the county government center and downtown Leesburg.

Smaller pockets of existing residential uses are scattered throughout the surrounding area that include the mobile home park north of the W&OD trail, Monroe Street west of Town Branch, and Harrison Street south of Tuscarora Creek.



Crescent Place

SITE PLAN



SETTING & PLAN

The Crescent Place plan provides a traditional street grid pattern connecting directly to Harrison Street as well as Industrial Court through a secondary entrance. Improvements are proposed to Harrison Street that will upgrade the eastern segment to a continuous streetscape of on-street parking, sidewalks, street lights and street trees. Parking for the 16,000 SF of commercial within the community is provided with the addition of on-street parking as well as improvements proposed to the town parking lot located on Harrison Street. Additional parking is provided behind the commercial units.

Crescent Place

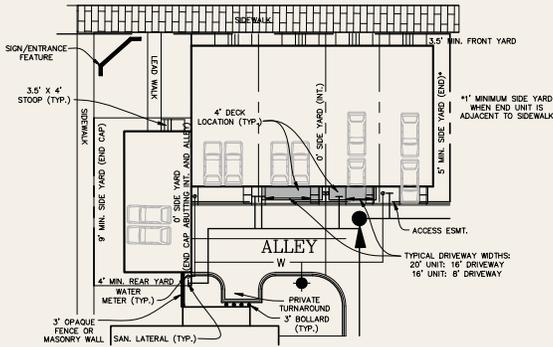
TYPICAL LOT LAYOUTS



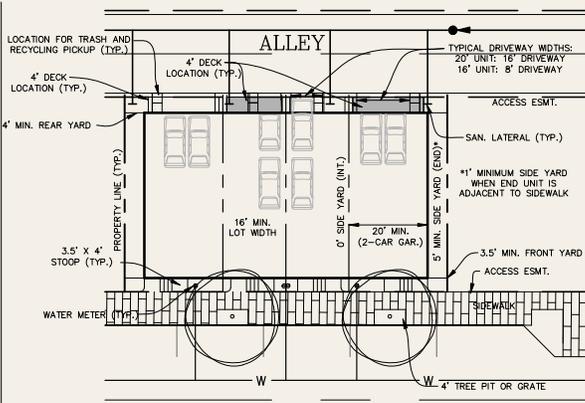
SETTING & PLAN

All residential units in Crescent Place will be rear load, alley units. On-street parking and brick sidewalks are provided throughout the neighborhood. Residential house types range from traditional style townhomes to multi-family over commercial and two over two buildings on Harrison Street.

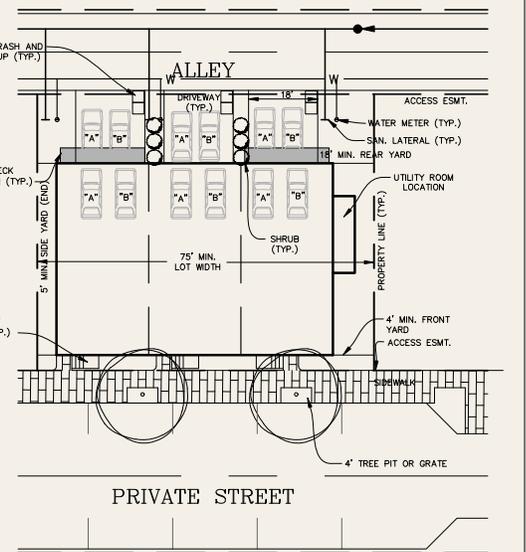
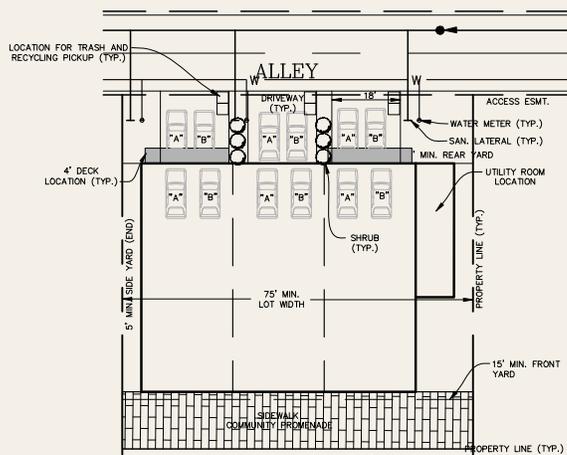
Shallow yard setbacks and tuck under parking are provided to match the urban scale of downtown Leesburg.



TOWNHOUSE END CAP LOT



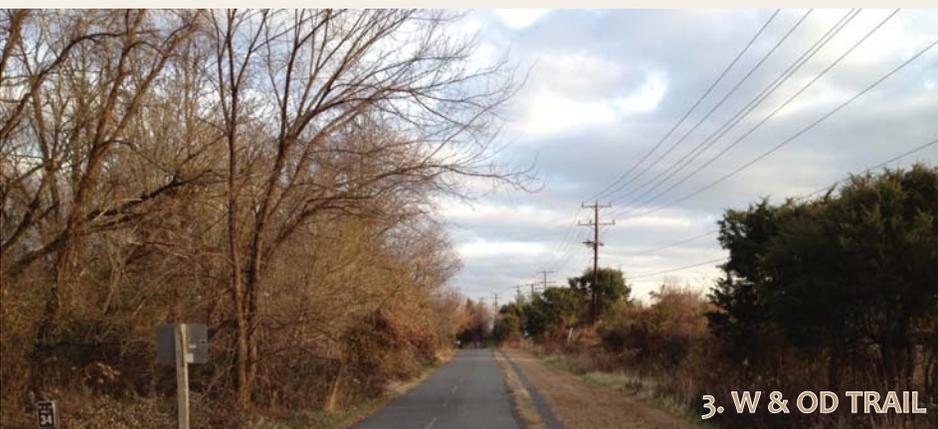
MULTIFAMILY LIVE/WORK



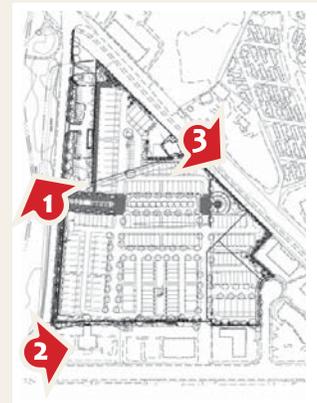
MULTIFAMILY TWO OVER TWO

Crescent Place

SURROUNDING PROPERTIES



SETTING & PLAN



KEY MAP

Neighbors include Raflo Park to the east, Middleburg Bank to the south, and the W&OD trail to the northeast. The property also has frontage on Industrial Court to the east. The site is surrounded by pedestrian and commercial activity which creates an ideal setting for a new neighborhood and commercial expansion.

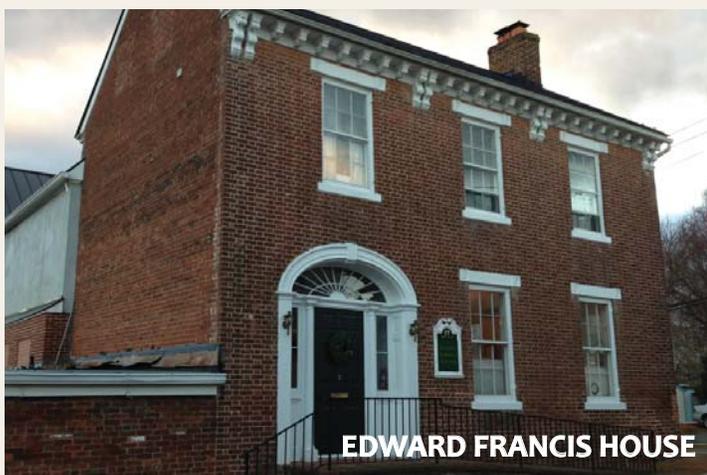
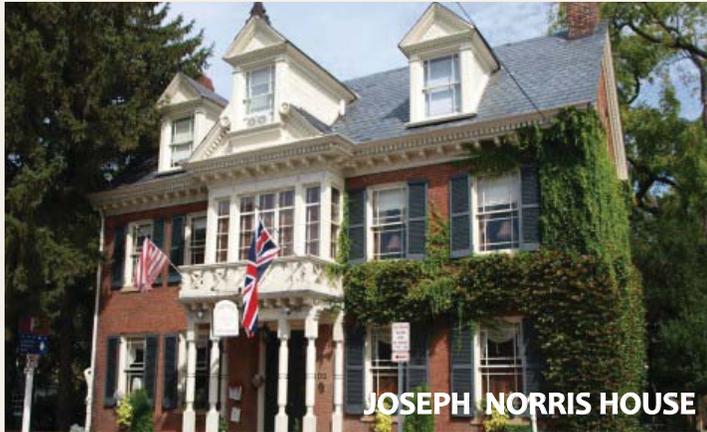
The Crescent District was envisioned by the Town to be an expansion of downtown Leesburg where a traditional street pattern and mix of uses is extended. Architectural style is also intended to be complementary of the neighboring historic district. The following guidelines will guide the architecture and open spaces within the neighborhood.

Crescent Place

ARCHITECTURAL STYLE



ARCHITECTURE



The Crescent Place architectural design is based on the rich traditional architecture found in the historic section of the Town of Leesburg including but not limited to Colonial, Federal, and Colonial Revival styles. The architecture is a modern interpretation of traditional architecture incorporating components and materials typically found in the architecture of homes located in and around the Town of Leesburg. For example, inspiration for the dormers is determined from the Queen Anne style dormers found on the Joseph Norris house located on 108 Loudoun Street SW. The reverse gable influence is taken from the Gothic Revival home found at 109 South King Street as well as the home located at 324 West Market Street. Front porches and portico influences can be found on the Bowie-Gilmore home located at 206 West Market Street and Henry McCabe's Tavern/Patterson House located at 4 Loudoun Street SE. lastly, masonry features and details were influenced by the simple elegance of the Federal style Edward Francis home located at 17 Royal Street SW.



LANSDOWNE
DEVELOPMENT GROUP

Crescent Place

BUILDING TYPOLOGY



ARCHITECTURE

MIXED USE BUILDING



MIXED USE BUILDING

The mixed-use, commercial under residential, building will have dual fronts, which will fully conform to the building standards for the townhomes and two-over-two buildings. Approved exterior materials are brick and cementitious siding. One three-story residential unit is provided over each commercial unit, providing a traditional “downtown” style architecture. First floor commercial units may be combined to accommodate larger tenants and provide greater flexibility of use. Commercial entrances are provided at the front of each unit and both residential and commercial access is provided at the rear of the building. A two-car garage is provided for each residential unit.



LANSDOWNE
DEVELOPMENT GROUP

Crescent Place

BUILDING TYPOLOGY



ARCHITECTURE

TWO-OVER-TWO RESIDENCES



TWO-OVER-TWO RESIDENCES

The two-over-two residences are designed to be similar in architecture and scale as the mixed-use and townhome buildings. Each two-over-two building will be four stories, and the front entrance will be shared by the top and bottom unit owner. Separate entrances will be provided at the rear of the unit through a single-car garage for each unit. Each unit will also be served by a driveway parking space.



LANSDOWNE
DEVELOPMENT GROUP

Crescent Place

BUILDING TYPOLOGY

FLAT ROOF TOWNHOMES



ARCHITECTURE

TOWNHOMES

Townhome units have their primary entrance at the front of the unit while end units may have their primary entrances on the side elevation to create a varied streetscape. A tandem two-car garage or one-car garage with “tuck-under” driveway space is provided at the rear of each townhome. Access to the rear of the unit is provided through the garage.

GABLE ROOF TOWNHOMES



LANSDOWNE
DEVELOPMENT GROUP

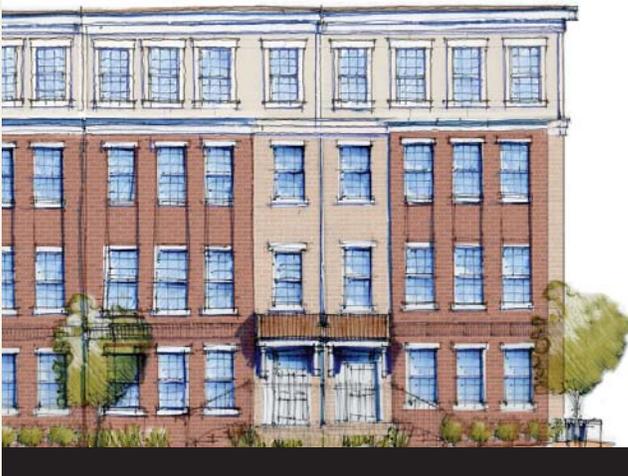
Crescent Place

ARCHITECTURAL DESIGN



ARCHITECTURE

EXAMPLE STREETSCAPE



INTRODUCTION

Crescent Place is home to 226 residential units, including single family attached and multi-family units of varying designs. In addition, Crescent Place includes neighborhood serving commercial uses. Surrounded by a network of enhanced streetscapes and community green spaces, the homes will be served by alleys, which will facilitate garage parking, trash removal, and utility placement.

MASSING

Design of building types shall add to the community character without rigid uniformity of design and be visually and physically compatible with one another. Building rows shall be designed and composed with consideration given to the building as a whole, reinforcing the larger scale, rhythm and patterns prevalent in the immediate neighborhood. This should be achieved through use of building details, materials, colors, similar roof forms, and street façade arrangements. Overall façade composition shall express verticality through alignments of doors, windows and bays. The basic massing of each unit shall be a simple rectangular volume, either three or four stories.

Rooftops shall contribute to the unified appearance of the individual streets as well as the neighborhood. The palette of designs shall incorporate a mix of roof forms that will reinforce the urban character, including flat roofs and expressive parapets.



LANSDOWNE
DEVELOPMENT GROUP

Crescent Place

ARCHITECTURAL DESIGN



ARCHITECTURE

Decks, porches, and stoops shall be of a scale and style that also complement overall building design. Such features shall be open and no privacy screens will be permitted.

SITE PLANNING

New residential structures shall be sited so that the front plane of the building is in line with the prevailing plane of the other structures on the street. The front entrances shall be oriented to the primary street frontage or public way.

BUILDING HEIGHTS

Building Height shall be measured in number of stories and shall not exceed four (4) stories, excluding a raised basement, roof terrace story or inhabited attic. Each story shall not exceed fifteen (15) feet clear, floor to ceiling and be no less than nine (9) feet. Maximum height shall be measured to the eave or roof deck. First floors and primary entry shall be raised a minimum of twenty (20) inches above the adjacent sidewalk, where possible.



TYPICAL FRONT TOWNHOUSE COMPOSITION



FRONT FACADE COMPOSITION

The front facade composition shall be characterized by a symmetrical and balanced placement of doors and windows. Front entry doors are located either in the center of the composition or off-centered on the facade aligning vertically with the windows above. Typically windows align vertically from floor to floor, and horizontally, and shall be composed in 3-bay, 4-bay, or 5-bay arrangements. Individual double-hung windows shall be the predominant window form.

The front facade of at least thirty percent (30%) of the units in a row shall be articulated with balconies, bump-outs or bay windows.



Crescent Place

ARCHITECTURAL DESIGN



ARCHITECTURE

EXTERIOR VENEERS

Individual facades shall be either full masonry or stone veneer, or full horizontal cementitious siding with a masonry or stone veneer watertable covering the foundation.

All building fronts in a single row shall be a minimum of forty percent (40%) masonry or stone with the remainder of the frontage being horizontal cementitious smooth-faced siding. Calculation of the building façade material shall exclude trim, cornice, windows, doors, garage doors, pediments, shutters, louvers, columns and other similar architectural features. Vinyl siding is not permitted on any building facade.



TYPICAL SIDE TOWNHOUSE COMPOSITION



TYPICAL FRONT TWO OVER TWO COMPOSITION



TYPICAL SIDE TWO OVER TWO COMPOSITION



Crescent Place

ARCHITECTURAL DESIGN



ARCHITECTURE



TYPICAL "HIGH VISIBILITY" FRONT TOWNHOUSE COMPOSITION



TYPICAL "HIGH VISIBILITY" SIDE TOWNHOUSE COMPOSITION

"END" & "HIGH VISIBILITY" FACADES

The unit located at the end of a row will be treated with a consistent material treatment on the front and side facades when located at "high visibility" locations as indicated on the concept plan to include articulation such as a bump out, balcony, bay window, or porch. The first unit located at the alley entrances will have a consistent material treatment on the front, side and rear facades.

End units with gable roofs will use pre-finished, horizontal, cementitious siding on rear elevations unless designated as a "high visibility" unit. End units with flat roofs and roof terraces will use cementitious vertical panels. No horizontal siding will be used on the roof terrace level living space, which will have consistent material treatment on all facades.



TYPICAL "HIGH VISIBILITY" REAR BUILDING "H" TWO OVER TWO COMPOSITION



TYPICAL BUMP OUT EXAMPLES



TYPICAL BALCONY EXAMPLES



LANSDOWNE
DEVELOPMENT GROUP

Crescent Place

ARCHITECTURAL DESIGN



EXAMPLE STREETSCAPE



TYPICAL REAR TOWNHOUSE COMPOSITION



TYPICAL REAR TWO OVER TWO COMPOSITION



TYPICAL REAR MIXED USE COMPOSITION



ARCHITECTURE

REAR FACADES

Rear elevations of all buildings shall be comprised of the following:

- Horizontal cementitious siding, masonry or stone;
- At least three (3) varying colors of the same shade of color shall be used for siding on each row of buildings;
- One-hundred percent (100%) of the units in a row must be constructed with a cantilevered deck. At least fifty percent (50%) of the units in a row shall be articulated with balconies, bump-outs, bay windows, or additional cantilevered deck.

Crescent Place

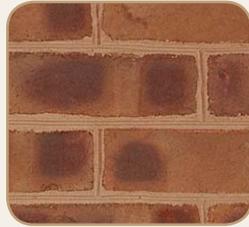
MATERIALS & DETAILS



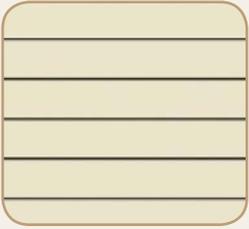
ARCHITECTURE



STONE



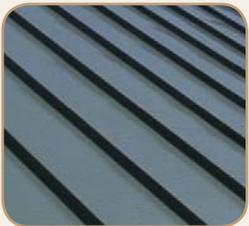
BRICK



CEMENTITIOUS
SIDING



CEMENTITIOUS
PANEL



STANDING SEAM
METAL ROOF



ARCHITECTURAL
SHINGLE

FRONT STOOPS

Front stoops will follow the following design standards:

- All front stoops are to be brick.
- Stoop railings (where required) are to be ornamental metal.
- Vinyl railings are not permitted.
- Concrete stoops are not permitted.
- Stoops shall be a minimum of 3.5 ft. deep by 4 ft. wide.

ROOFS

The roof form must reflect the roof forms expressed along the block face and shall include eave facing gables or front facing gables with roof pitches ranging from six to ten over twelve.

Gabled or hipped dormers may be added to introduce light into half-story and attic spaces. Building rows shall have a mix of dormer windows, gables, hips or other feature on both the front and rear roof line in order to provide a variety of visual interest. Seventy-five percent (75%) of the front of a building row must have a roof feature such as a dormer or reverse gable roof.

Roof forms may also include flat roofs with facades designed as parapet wall fronts with a cornice expression. The parapet shall be continuous with either an articulated cornice using brackets, paneling, and shaped molding, or the top may be defined using cut or cast stone elements and accent brickwork.



Crescent Place

MATERIALS & DETAILS



ARCHITECTURE

Additional roof design standards include the following:

- Roofs of a single building row may contain a combination of materials, but each material color shall be consistent within the row.
- Roof stacks, vents, or other penetrations must be painted black, dark grey or other color to closely match the roof color.
- Gutters shall be painted to match the trim color.
- Gable and dormer roofs may be standing seam metal, artificial slate or architectural grade asphalt shingles.
- Roof flashing shall match roof material color.
- EPDM roof membrane shall be allowed only on the flat roof buildings on the main (upper) roof. Walkable membrane roofs shall be required on roof terraces. One color shall be used on all terraces.
- Bay window roofs shall be standing seam metal.



DOUBLE HUNG
WINDOWS



FRONT ENTRY



DOOR - SIMULATED
WOOD

WINDOWS & DOORS

Windows:

The rhythm of the windows must reflect the overall bay rhythm of the building and be repeated floor to floor. Unrelieved expanses of wall are not acceptable on street facades, especially buildings that occupy a corner lot. False windows and shutters are highly discouraged although they may be employed along the side elevation of a building, but shall never be used on the front elevation.

Windows shall be of a vertical proportion with muntin patterns of six over six or nine over nine. Generally, windows shall be single or double hung with operability. Rectangular transoms above the windows are permitted, but half-round transoms are not appropriate.

Lintels and arches have a minimum height of eight inches (8") and must extend beyond the masonry opening four inches (4") on either side. Sills have a minimum height of two inches (2") and project from the wall surface a minimum of one inch (1").



Crescent Place

MATERIALS & DETAILS



ARCHITECTURE

Shutters shall be applied to all or none of the windows on any given façade and shall be shaped, sized and proportioned to the windows they serve. Shutters shall be operable or provided with adequate hardware (shutter dogs or tie-backs) to make them appear operable and shall be mounted as if hinged to the window frame or brick surround.

Additional window standards include the following:

- Windows in all homes may be vinyl.
- All windows will have simulated divided light (SDL) grills.
- Snap in grills are not permitted.
- Transoms and half round windows will have SDL grills.
- Windows will match exterior color schemes.

Doors:

Special care shall be given to design and detail of the front entry doors and its appropriateness to the overall style of the home. Doors are constructed as either paneled or glazed. Doors can be double or single and often include sidelights and transoms. Door muntins shall be traditionally profiled, at exterior and interior faces, and no greater than one inch (1”) in width. Individual door lites shall be square or vertically proportioned. Lites in doors and windows of differing sizes shall be similarly proportioned.

The use of side-lites and transoms are encouraged. Transom units shall be horizontally proportioned with vertically proportioned lites. Transoms must be a minimum of fourteen inches (14”) high. Transoms or sidelights at front doors will have SDL grills.

Entry door materials and details are as follows:

- Entry doors must be stained or painted. All other doors must be primed and painted.
- All front entry doors will be metal clad wood or fiberglass clad wood.
- Vinyl doors are not permitted.
- All patio doors will have SDL grills.

Garage Doors:

All garage doors will be fiberglass, with no glass window openings. Style of garage doors will be paneled to match or complement approved architecture.



Crescent Place

MATERIALS & DETAILS



ARCHITECTURE



FULL PORCH



FRONT ENTRY
WITH SURROUND



CORNER PORCH



FRONT ENTRY
WITH OVERHANG

PORCHES

Porches where provided shall be located centrally on the front façade, usually one-story, and shall have emphasis placed on the bay where access is gained to the porch. Porches shall be either three-fifths or the entire length of the front façade. Porch roofs can be either flat, shed, gabled or hipped roofs. Shed or hipped roofs have a min. four (4) in twelve (12) pitch. Porch column bays should be more narrow than wide resulting in a vertical proportion.

FRONT ENTRIES

A Front Entry with Door Surround will have a standard front door with adjacent fluted Doric pilasters on each side in a square or round profile. An entablature will be placed above the door to complete the Front Entry composition. The other Front Entry with Overhang option will have a shed canopy overhang with two brackets supporting its entablature and roof. The shed roof will have a min. four (4) in twelve (12) pitch with optional standing-seam metal roof. The canopy will be sized to fit around the door casing. All front entries will have brick stoops with black ornamental metal handrails, if necessary per grade.

COLUMNS & RAILINGS

Columns include ten inch (10") diameter Doric columns, and twelve inch diameter Ionic columns. Single-story porches shall have nine (9') to ten foot (10') tall columns. Balusters shall have a square or turned cross section, and shall be spaced no more than four inches (4") on-center.

REAR DECKS & RAILINGS

Decks shall be consistent in materials, design and aesthetic quality, and shall be of a consistent color throughout a building and from building to building.



Crescent Place

MATERIALS & DETAILS



ARCHITECTURE

The rear decks and railings design standards are as follows:

- Standard or optional rear decks will be cantilevered, no posts permitted.
- Decks will extend no more than five feet from the face of the building.
- Deck floor joists and beams will be pressure treated.
- All band boards will be wrapped with a composite trim material and painted to match exterior trim.
- Deck railings will match stoop rails in design and color.
- Railings will be ornamental metal.
- Vinyl or pressure treated rails are not permitted.

UTILITY PLACEMENT

Meters, condensers and other equipment must not be visible from the sidewalk. Placement in the front façade or side façade zone is prohibited, with equipment located off alleys or internal side yards. Equipment may be used on flat roofs, but must be accessible, located behind parapet, and not visible from the street. Wherever possible, meters shall be placed in groups on the alley or non-pedestrian side elevation. Sprinkler equipment on multifamily buildings will be screened with a mechanical room.

TYPICAL LANDSCAPE SCREEN EXAMPLES:



UTILITY SCREEN
LANDSCAPE



UTILITY SCREEN
LANDSCAPE



UTILITY SCREEN
FENCE



UTILITY SCREEN
FENCE



Crescent Place

OPEN SPACE & PEDESTRIAN PLAN



STREETSCAPE & AMENITIES



Thoughtfully designed and well-appointed open spaces are provided with connections to the surrounding community. Harrison Street improvements will provide the missing pedestrian link between the W&OD trail and Catocin Circle. A six and a half foot molded brick sidewalk, street trees, streetlights, and on-street parking will complete a streetscape consistent with downtown Leesburg. The Boulevard will provide a similar streetscape, as well as the addition of a twenty-foot planted median and park. Additional streets within the site will provide similar on-street parking and street trees with brick sidewalks, thus creating a hierarchy of streets throughout the community. The Central Plaza with fountain and pocket parks will be provided as a retreat for the community.



Crescent Place

HARRISON STREET ENTRANCE PLAN



STREETSCAPE & AMENITIES

SITE ENTRANCE/ BOULEVARD PARK -PLAN VIEW



KEY MAP

MONUMENT SIGN - ELEVATION



The site entrance on Harrison Street will include a monument sign integrated with the adjoining stone retaining walls. The entrance sign and walls, as well as a heavily and formally planted median, will tie into the consistent street tree plantings and brick sidewalks leading into the site. An arbor or landscape entry feature, such as a specimen tree, set back into the site on the same axis as the commercial sidewalk will guide visitors and provide added height and architectural interest to the pedestrian space.



LANSLOWNE
DEVELOPMENT GROUP

Crescent Place

CENTRAL PLAZA GREEN



STREETSCAPE & AMENITIES



KEY MAP

The Central Plaza Green surrounding a central fountain will be the focal point at the end of the Boulevard. Hardscape with various paving materials will surround the fountain and provide seating and a place for residents to gather. Formalized plantings and stone benches will surround the Plaza softening the edge and transitioning to the neighboring W&OD property. Integrated within the Central Plaza Green will be a rock feature that will offer opportunities for interpretive play within the space.



LANSDOWNE
DEVELOPMENT GROUP

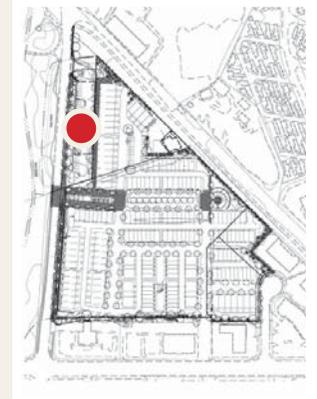
Crescent Place

TOWN PARKING LOT & COMMUNITY PROMENADE

TOWN PARKING LOT - PLAN VIEW

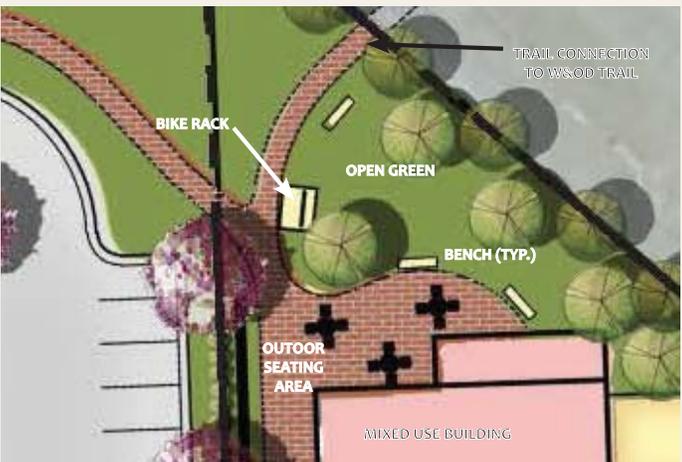


STREETSCAPE & AMENITIES



KEY MAP

COMMUNITY PROMENADE OPEN GREEN



COMMUNITY PROMENADE PERSPECTIVE



The Town owned parking lot will be improved with additional parking and plantings. A stone retaining wall and ornamental metal railing will separate the lower parking area from the commercial activity above. The stone retaining wall will be softened with tree and shrub plantings.

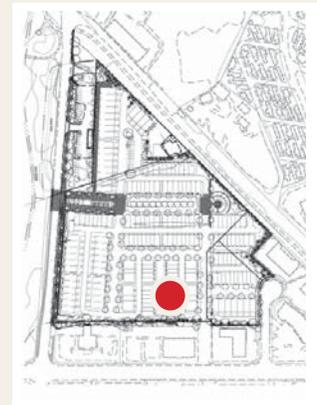
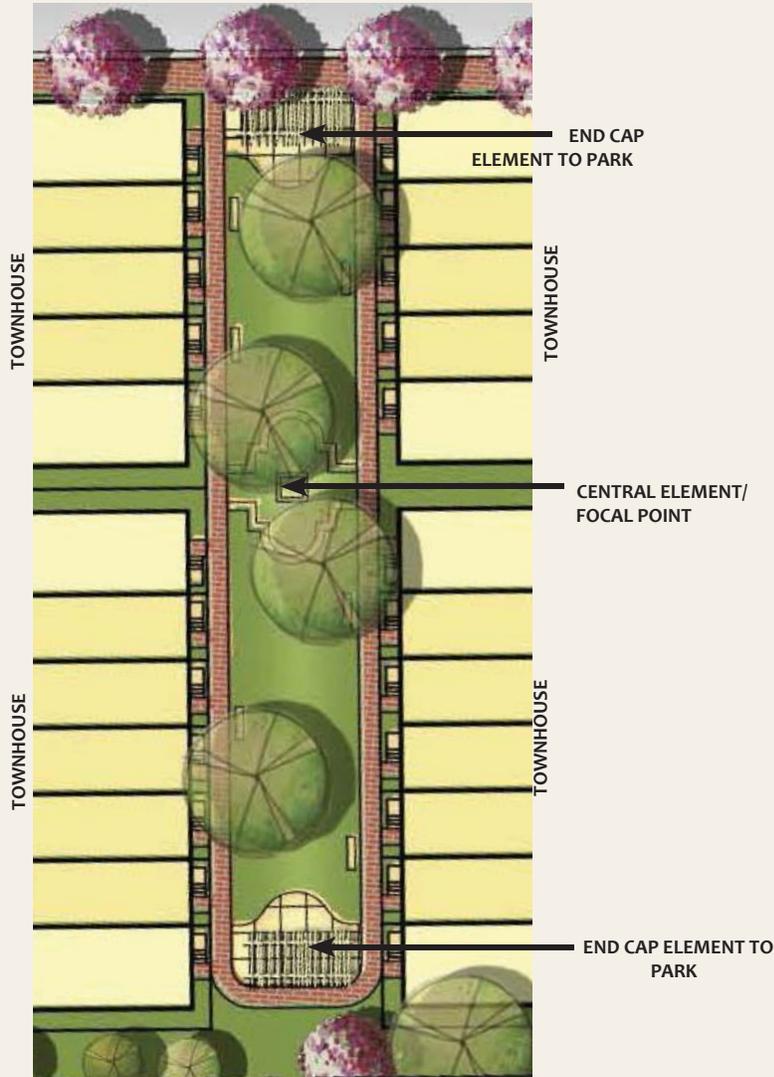
Extending along the front of the mixed-use buildings, the community promenade will feature benches, additional outdoor seating areas and bike storage. The open green will provide a quiet, tree-lined area for relaxing or walking. A trail connection will provide direct access to the W&OD Trail for pedestrians and cyclists.

Crescent Place

RESIDENTIAL COMMON GREEN



STREETSCAPE & AMENITIES



KEY MAP

The Residential Common Green is less formal than the Central Plaza Green and the Boulevard. This park will feature seating areas for residents to relax, walk, and socialize. Elements such as benches, trellises, and patios are site elements of the residential common green. The design to the left shows an illustrative layout incorporating these elements.

Crescent Place

LINEAR POCKET PARK



STREETSCAPE & AMENITIES



KEY MAP

The linear pocket park will serve as both a gathering area and a retreat for residents. Bench seating and hardscape areas will be an ideal site for celebrations and other community functions, while the tree-canopied benches will offer more quiet areas. The linear pocket park will also feature a connecting brick pathway and bike storage.



Crescent Place

LANDSCAPE & STREETScape MATERIALS PALLET



STREETSCAPE & AMENITIES



BRICK SIDEWALK & LEADWALK



ASPHALT TRAIL



COBBLESTONE



STAMPED ASPHALT



DETECTABLE WARNING SURFACE



STONE WALL



CONCRETE BOLLARD



STONE BENCH

SIDEWALKS

Sidewalks along Harrison Street, the main Boulevard entering the community, and all individual streets will be molded brick. If needed to enhance the growing environment for street trees, individual sidewalks may incorporate cobblestone or similar permeable pavement material as a complement to the brick surface. All sidewalks will be constructed pursuant to DCSM requirements.

LEADWALKS

Lead-walks are to be molded brick and a minimum of four feet wide.

If railings are required along a lead walk, they must be ornamental metal. Vinyl or pressure treated rails are not permitted.



Crescent Place

LANDSCAPE & STREETScape MATERIALS PALLET



STREETSCAPE & AMENITIES



DETAIL OF STACKED STONE



DRY STACKED STONE WALL



ORNAMENTAL METAL RAIL



LANDSCAPING AT DRIVEWAY



RECESSED GARAGE ENTRY



LANDSCAPING AT DRIVEWAY

HARDSCAPES

Retaining walls will be dry stacked stone.

Rails required on dry stacked stone walls will be ornamental metal. Vinyl rails or fences are not permitted.

DRIVEWAYS

All rear load townhomes will have a five foot concrete driveway apron. A five foot long segment of ribbon curb will be used in between the garage doors. All driveways will be asphalt. Landscaping will be used in between the ribbon curb to soften the drive aisles and to provide color. Stone is not permitted between ribbon curb.



Crescent Place

SITE FURNISHINGS



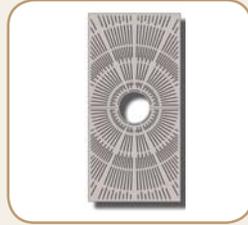
STREETSCAPE & AMENITIES



BENCH



TRASH CAN



TREE GRATE



ORNAMENTAL METAL FENCE



DRY STACK STONE FENCE



STREET SIGN

SITE FURNISHINGS

A style and material that complements the historic district will be required for all site furnishings. Black metal or painted/coated metal benches, trash cans, tree grates, street signs and lights and the like will be required for a consistent look throughout the community.

Mailboxes will be located at convenient, centrally located areas around the new community, typically along the edges of the public green spaces.

LIGHT FIXTURES

Front Elevations:

One light fixture is permitted on side of door. Photo cells are permitted. Post lamps are not permitted

Rear Elevations:

Sufficient lighting for visibility and safety shall be provided in the driveways and drive aisles without creating glare or excessive spill over onto adjacent lots. To enhance alley illumination, a deck-mounted lamp that will be timer controlled will be provided with each unit. Said lamp will be installed beneath the deck.



MAILBOX CLUSTER



MAILBOX CLUSTER



BOLLARD LIGHT



HARRISON STREET LAMP



PRIVATE STREET LAMP



RESIDENT'S LAMP

Two light fixtures will be provided, one on each side of a two-car garage door. One light fixture will be provided at a one-car garage door.

Crescent Place

LANDSCAPE PLANTINGS

STREET TREES:



RED MAPLE



LONDON PLANE TREE



SAWTOOTH OAK



STREETSCAPE & AMENITIES

STREET TREES

Will be provided in tree pits and grates as detailed on the Concept Plan, and consist of species that can tolerate urban environments and approved by Town.

FOUNDATION PLANTINGS

- Foundation plantings are required on every lot.
- Foundation plantings are required on all end conditions.
- All lawns will be sod.

BUFFER PLANTINGS

- Will be a mixture of evergreen and deciduous plants with varying heights for a complete buffer as approved by town.
- Consistent plant pallet will be provided throughout the neighborhood.
- Flowering plants and variety of textures will be used for visual interest.



FOUNDATION PLANTING



WALL PLANTING



BUFFER PLANTING



Crescent Place

OTHER SITE FEATURES



STREETSCAPE & AMENITIES



BIKE RACK



BUS SHELTER

BIKE RACKS

Bike racks will be provided throughout the site to encourage pedestrian circulation from within the site and surrounding neighborhoods.

BUS SHELTER

A bus shelter to be placed on the Town parking lot will provide a transit connection to the downtown.



TRELLIS



INTERPRETIVE ROCK PLAY AREA

TRELLIS

Trellis features will be placed within open space areas and accompanied with landscaping to provide shade and an aesthetically pleasing sense of place.

INTERPRETIVE ROCK PLAY AREA

The rock play area incorporated within the Central Plaza Green will provide the children of the community a creative and interactive place to play.



GAZEBO (TOWN LOT)

GAZEBO

A gazebo structure will be placed on the Town lot between the parking area and W&OD trail, and will be of similar design and construction as the existing gazebo in Raflo Park.





APPENDIX TO CRESCENT PLACE DESIGN GUIDELINES ELEVATIONS

CRESCENT PLACE
LEESBURG, VIRGINIA
SEPTEMBER 18, 2013



8521 Leesburg Pike Suite 700 Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801 | www.lessarddesign.com

© 2013 Lessard Design Inc. expressly reserves its common law copyright and other property rights in these plans. These plans are not to be changed or copied in any form or matter whatsoever, nor are they to be assigned to any third party without the express written permission and consent of Lessard Design, Inc.



FRONT ELEVATION

**APPENDIX TO CRESCENT PLACE DESIGN
GUIDELINES ELEVATIONS**

16' & 20' TOWNHOMES -
FLAT ROOF

CRESCENT PLACE

LEESBURG, VIRGINIA

A.1

0 4' 8'
SCALE: 1/8" = 1'-0"

09.18.2013
KTN.003A



8521 Leesburg Pike Suite 700 Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801 | www.lessarddesign.com

© 2013 Lessard Design Inc. expressly reserves its common law copyright and other property rights in these plans. These plans are not to be changed or copied in any form or matter whatsoever, nor are they to be assigned to any third party without the express written permission and consent of Lessard Design, Inc.



SIDE ELEVATION



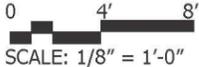
**APPENDIX TO CRESCENT PLACE DESIGN
GUIDELINES ELEVATIONS**

16' & 20' TOWNHOMES -
FLAT ROOF

CRESCENT PLACE

LEESBURG, VIRGINIA

A.2



09.18.2013
KTN.003A



8521 Leesburg Pike Suite 700 Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801 | www.lessarddesign.com

© 2013 Lessard Design Inc. expressly reserves its common law copyright and other property rights in these plans. These plans are not to be changed or copied in any form or matter whatsoever, nor are they to be assigned to any third party without the express written permission and consent of Lessard Design, Inc.



REAR ELEVATION



8521 Leesburg Pike Suite 700 Vienna, VA 22182
 P: 571.830.1800 | F: 571.830.1801 | www.lessarddesign.com

© 2013 Lessard Design Inc. expressly reserves its common law copyright and other property rights in these plans. These plans are not to be changed or copied in any form or matter whatsoever, nor are they to be assigned to any third party without the express written permission and consent of Lessard Design, Inc.

**APPENDIX TO CRESCENT PLACE DESIGN
 GUIDELINES ELEVATIONS**

16' & 20' TOWNHOMES -
 FLAT ROOF

CRESCENT PLACE

LEESBURG, VIRGINIA

0 4' 8'
 SCALE: 1/8" = 1'-0"

A.3

09.18.2013
 KTN.003A



FRONT ELEVATION

**APPENDIX TO CRESCENT PLACE DESIGN
GUIDELINES ELEVATIONS**

16' & 20' TOWNHOMES -
GABLE ROOF VERSION 1

CRESCENT PLACE

LEESBURG, VIRGINIA

0 4' 8'
SCALE: 1/8" = 1'-0"

A.4

09.18.2013
KTN.003A



8521 Leesburg Pike Suite 700 Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801 | www.lessarddesign.com

© 2013 Lessard Design Inc. expressly reserves its common law copyright and other property rights in these plans. These plans are not to be changed or copied in any form or matter whatsoever, nor are they to be assigned to any third party without the express written permission and consent of Lessard Design, Inc.

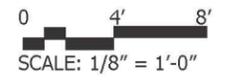


SIDE ELEVATION

**APPENDIX TO CRESCENT PLACE DESIGN
GUIDELINES ELEVATIONS**

16' & 20' TOWNHOMES -
GABLE ROOF VERSION 1

CRESCENT PLACE
LEESBURG, VIRGINIA



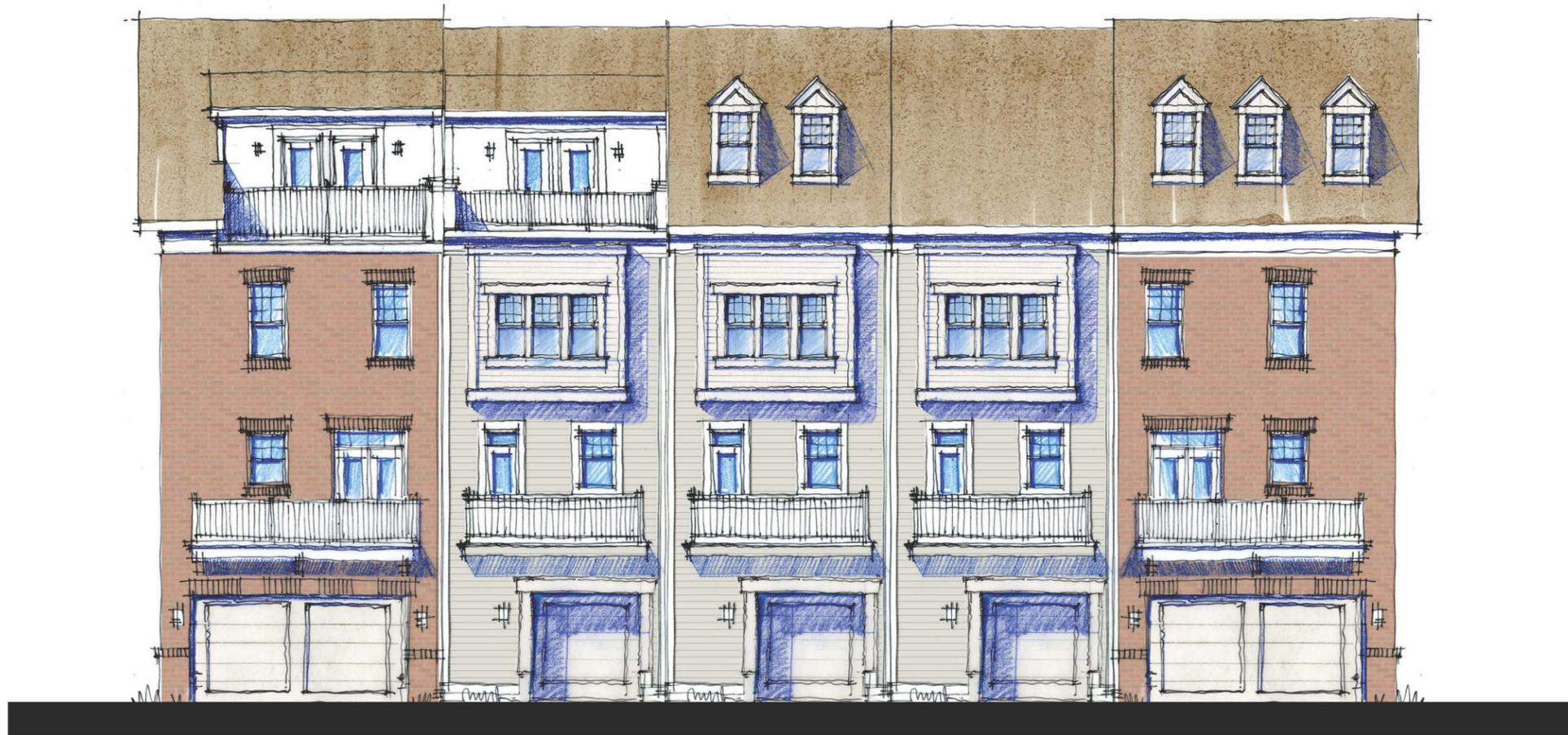
A.5

09.18.2013
KTN.003A



8521 Leesburg Pike Suite 700 Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801 | www.lessarddesign.com

© 2013 Lessard Design Inc. expressly reserves its common law copyright and other property rights in these plans. These plans are not to be changed or copied in any form or matter whatsoever, nor are they to be assigned to any third party without the express written permission and consent of Lessard Design, Inc.



REAR ELEVATION

**APPENDIX TO CRESCENT PLACE DESIGN
GUIDELINES ELEVATIONS**

16' & 20' TOWNHOMES -
GABLE ROOF VERSION 1

CRESCENT PLACE

LEESBURG, VIRGINIA

A.6

0 4' 8'
SCALE: 1/8" = 1'-0"

09.18.2013
KTN.003A



8521 Leesburg Pike Suite 700 Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801 | www.lessarddesign.com

© 2013 Lessard Design Inc. expressly reserves its common law copyright and other property rights in these plans. These plans are not to be changed or copied in any form or matter whatsoever, nor are they to be assigned to any third party without the express written permission and consent of Lessard Design, Inc.



FRONT ELEVATION

**APPENDIX TO CRESCENT PLACE DESIGN
GUIDELINES ELEVATIONS**

16' & 20' TOWNHOMES -
GABLE ROOF VERSION 2

CRESCENT PLACE
LEESBURG, VIRGINIA

0 4' 8'
SCALE: 1/8" = 1'-0"

A.7

09.18.2013
KTN.003A



8521 Leesburg Pike Suite 700 Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801 | www.lessarddesign.com

© 2013 Lessard Design Inc. expressly reserves its common law copyright and other property rights in these plans. These plans are not to be changed or copied in any form or matter whatsoever, nor are they to be assigned to any third party without the express written permission and consent of Lessard Design, Inc.



SIDE ELEVATION

**APPENDIX TO CRESCENT PLACE DESIGN
GUIDELINES ELEVATIONS**

16' & 20' TOWNHOMES -
GABLE ROOF VERSION 2

CRESCENT PLACE
LEESBURG, VIRGINIA

0 4' 8'
SCALE: 1/8" = 1'-0"

A.8

09.18.2013
KTN.003A



8521 Leesburg Pike Suite 700 Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801 | www.lessarddesign.com

© 2013 Lessard Design Inc. expressly reserves its common law copyright and other property rights in these plans. These plans are not to be changed or copied in any form or matter whatsoever, nor are they to be assigned to any third party without the express written permission and consent of Lessard Design, Inc.



REAR ELEVATION

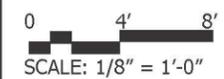
**APPENDIX TO CRESCENT PLACE DESIGN
GUIDELINES ELEVATIONS**

16' & 20' TOWNHOMES -
GABLE ROOF VERSION 2

CRESCENT PLACE

LEESBURG, VIRGINIA

A.9



8521 Leesburg Pike Suite 700 Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801 | www.lessarddesign.com

© 2013 Lessard Design Inc. expressly reserves its common law copyright and other property rights in these plans. These plans are not to be changed or copied in any form or matter whatsoever, nor are they to be assigned to any third party without the express written permission and consent of Lessard Design, Inc.

09.18.2013
KTN.003A



FRONT ELEVATION

**APPENDIX TO CRESCENT PLACE DESIGN
GUIDELINES ELEVATIONS**

2-OVER-2

CRESCENT PLACE
LEESBURG, VIRGINIA

A.10

0 4' 8'
SCALE: 1/8" = 1'-0"

09.18.2013
KTN.003A



8521 Leesburg Pike Suite 700 Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801 | www.lessarddesign.com

© 2013 Lessard Design Inc. expressly reserves its common law copyright and other property rights in these plans. These plans are not to be changed or copied in any form or matter whatsoever, nor are they to be assigned to any third party without the express written permission and consent of Lessard Design, Inc.



SIDE ELEVATION

**APPENDIX TO CRESCENT PLACE DESIGN
GUIDELINES ELEVATIONS**

2-OVER-2

CRESCENT PLACE
LEESBURG, VIRGINIA

A.11

0 4' 8'
SCALE: 1/8" = 1'-0"

09.18.2013
KTN.003A



8521 Leesburg Pike Suite 700 Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801 | www.lessarddesign.com

© 2013 Lessard Design Inc. expressly reserves its common law copyright and other property rights in these plans. These plans are not to be changed or copied in any form or matter whatsoever, nor are they to be assigned to any third party without the express written permission and consent of Lessard Design, Inc.



REAR ELEVATION

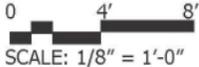
**APPENDIX TO CRESCENT PLACE DESIGN
GUIDELINES ELEVATIONS**

2-OVER-2

CRESCENT PLACE

LEESBURG, VIRGINIA

A.12



09.18.2013
KTN.003A



8521 Leesburg Pike Suite 700 Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801 | www.lessarddesign.com

© 2013 Lessard Design Inc. expressly reserves its common law copyright and other property rights in these plans. These plans are not to be changed or copied in any form or matter whatsoever, nor are they to be assigned to any third party without the express written permission and consent of Lessard Design, Inc.



FRONT ELEVATION

**APPENDIX TO CRESCENT PLACE DESIGN
GUIDELINES ELEVATIONS**

MIXED USE

CRESCENT PLACE

LEESBURG, VIRGINIA

A.13

0 4' 8'
SCALE: 1/8" = 1'-0"

09.18.2013
KTN.003A



8521 Leesburg Pike Suite 700 Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801 | www.lessarddesign.com

© 2013 Lessard Design Inc. expressly reserves its common law copyright and other property rights in these plans. These plans are not to be changed or copied in any form or matter whatsoever, nor are they to be assigned to any third party without the express written permission and consent of Lessard Design, Inc.



16' & 20' TOWNHOMES -
GABLE ROOF VERSION 2
SIDE ELEVATIONS

2-OVER-2
FRONT ELEVATION

**APPENDIX TO CRESCENT PLACE DESIGN
GUIDELINES ELEVATIONS**

ENTRY ELEVATION
(VIEW FROM HARRISON ST SE)

CRESCENT PLACE
LEESBURG, VIRGINIA

A.14

0 4' 8'
SCALE: 1/8" = 1'-0"

09.18.2013
KTN.003A



8521 Leesburg Pike Suite 700 Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801 | www.lessarddesign.com

© 2013 Lessard Design Inc. expressly reserves its common law copyright and other property rights in these plans. These plans are not to be changed or copied in any form or matter whatsoever, nor are they to be assigned to any third party without the express written permission and consent of Lessard Design, Inc.

**CRESCENT PLACE
REZONING CONCEPT PLAN AND PROFFER
AMENDMENT APPLICATION
REQUEST FOR MODIFICATIONS**

November 5, 2012

Revised March 27, 2013

Revised June 14, 2013

Revised August 14, 2013

The applicant is requesting the following Zoning Ordinance modifications pursuant to Section 8.2.2.E of the Zoning Ordinance. The zoning application these modification requests accompany is to amend the concept plan and proffers for a current PRN zoned property. Many of the PRN district requirements anticipate a more suburban-style pattern of development than is envisioned for the Crescent Place project, which is located adjacent to the downtown Leesburg H-1 overlay district, the W and OD Trail and across the street from Raflo Park. As such, the Crescent Place concept plan proposes an urban infill style of development with smaller lots, an alternative parking configuration for the townhouse and two-over-two style multi-family units, and less on-site open space than is typically found in more suburban style neighborhoods. Section 8.2.2.E permits the Town Council to approve the proposed modifications to the regulations if they will achieve an innovative design. The applicant suggests that the proposed concept plan provides an innovative urban infill style of development, as compared with the more suburban style development proscribed under the PRN district regulations. The proposed concept plan fulfills the Purpose of the Planned Development Districts as set forth in Section 8.1.1.B by providing a "creative and innovative design to complement and enhance the town's visual character." If an innovative urban infill style of development is appropriate at this location, then the proposed modifications improve upon

the existing regulations. In order to achieve the design depicted on the concept plan, the following modifications to the Zoning Ordinance are necessary and appropriate.

MODIFICATIONS FOR THE LEESBURG ACQUISITION PARTNERS PROPERTY

I. Zoning Ordinance Section to be Modified

Section 11.3 Number of Parking Spaces Required

Parking Standards Table

<i>Type of Use</i>	<i>Minimum Number of Spaces Required</i>
<i>Single-Family Detached</i>	<i>2.0 per dwelling if access to the lot is onto a public street; 3.0 per dwelling if access to the lot is from a private accessway.</i>
<i>Single-Family Attached</i>	<i>2.0 per dwelling if access to the lot is onto a public street; 2.5 per dwelling if access to the lot is from a private accessway. For townhouses with a single-car garage, the garage shall not be counted as a parking space. For townhouses with a two-car garage, the two-car garage shall count as a single (one) parking space.</i>
<i>Multi-Family</i>	<i>1.5 per dwelling for efficiency and one bedroom units; 2.0 per dwelling for two bedroom units; and 2.53 per dwelling for units with three or more bedrooms. For multi-family garage units, the garage shall not be counted as a parking space.</i>
<i>Retail Sales, General</i>	<i>1.0 per 200 square feet gross floor area for the first 10,000 square feet,</i>

	<i>plus 4.0 per each additional 1,000 square feet of gross floor area.</i>
<i>Office, General</i>	<i>1.0 per 300 square feet gross floor area.</i>

Requested Modification

Type of Use	Minimum Number of Spaces Required
Single-Family Attached	2.5 spaces per dwelling unit, including all garage and driveway spaces.*
Multi-Family – two-over-two units and live/work dwelling units	2.5 spaces per dwelling unit, including all garage and driveway spaces.*
Retail Sales, General and Office, General	33 spaces will be provided on-site *

*See parking exhibit accompanying this modification request.

Justification for Modification

In the proposed mixed-use community, the total required parking is 632 spaces as shown on the Parking Exhibit dated March 19, 2013 prepared by Bowman Consulting accompanying this modification request. The provided parking is 600 on-site spaces broken down as follows: 33 commercial spaces (both retail and office), 470 residential spaces provided on the lots in the garages and driveways and 97 visitor spaces dispersed throughout the site as on-street parking. However, an additional 99 public parking spaces are available in the vicinity of the community to off-set the on-site spaces provided in Crescent Place with 32 on-street spaces on Harrison Street and 67 spaces in the re-built town parking lot adjacent to Crescent Place in front of the live/work units proffered to be constructed by the applicant.

This modification request is premised upon the following factors: (i) the mix of uses developed in a compact pattern reduces the need for each use to provide the maximum number of spaces for each use calculated separately; (ii) the compact pattern and the project’s location promotes

pedestrian access within and to the site, reducing the need for parking; (iii) the urban infill character is designed to promote a lifestyle and expectations different from typical suburban development by trying to balance automobile use with pedestrian use - providing more than ample parking only encourages vehicular access; (iv) Virginia Regional Transit provides bus service along Harrison Street and (v) on-street parking both within the project (on private streets) and on adjacent Harrison Street will be available to all users, as is customarily found in the historic core of Leesburg and in most urban settings. Off-street parking fields are discouraged in traditional urban design, while on-street parking is considered a critical element of the street in traditionally designed communities. All dwelling units will have a garage, which by covenant will be required to be maintained for parking purpose only. Additionally, the applicant has proffered that the HOA will be responsible for outside grounds maintenance, which eliminates the need for residents to store yard maintenance equipment and tools in the garage.

II. Zoning Ordinance Section to be Modified

Section 11.9 Number of Off-Street Loading Spaces Required

	<i>Minimum Number of Loading Spaces Required</i>
<i>Offices</i>	<i>One standard loading space for the first 10,000 square feet of gross floor area, plus one space for each additional 20,000 square feet.</i>
<i>Eating Establishments</i>	<i>One standard loading space for the first 10,000 square feet of gross floor area, plus one space for each additional 25,000 square feet.</i>
<i>Retail Sales</i>	<i>One standard loading space for the first 15,000 square feet of gross floor area, plus one space for each additional 25,000 square feet.</i>

Requested Modification

Provide one standard loading spaces (15' by 30' in dimension) to serve the commercial uses for the property.

Justification for Modification

The proposed commercial component contained on the ground floor of live/work units will be comprised of smaller retail, restaurant and office uses, which will not have the need for large or numerous loading spaces. Excessive loading areas will detract from the traditional design of the project. This project should be viewed as being similar to uses in the H-1 historic overlay district, as a similar design, scale and mix of uses is being proposed. Section 11.10.1 of the Zoning Ordinance permits the Land Development Official to waive loading requirements in the H-1 district when the proposed use can be served adequately by an existing on- or off-street loading facility within proximity to the proposed use. Primarily, however, the small scale of the commercial uses will preclude the need for large or numerous deliveries.

III. Zoning Ordinance Sections to be Modified

Section 12.8.5.C Modification Buffer-Yard Requirements – Special Design

Buffer yard requirements may be waived or modified by the Land Development Official where the side of a building, a barrier and/or the land between that building and the property line has been specifically designed to minimize the adverse impact through a combination of architectural and landscaping techniques.

Section 12.8.6. D Screening – Alternative Screens and Modifications

Alternative planting programs that achieve the objectives of the required screens are permitted to allow flexibility in landscape design. The Land Development Official may approve any of the alternative screens provided below or a combination of the alternatives if the applicant can demonstrate that the objective of the screen has been met. The Land Development Official may reduce or eliminate the requirements for evergreen trees or shrubs if a landscape plan proposes the use of hedges, shrubs, walls or berms that achieve the objective of the required screen.

Requested Modification

The applicant is requesting to apply the buffers and setbacks as shown on Sheet 4 of the CP.

Justification for Modification

This urban infill style development is surrounded by a variety of uses; therefore, the applicant is proposing to provide separation from these uses using a variety of methods as depicted in the Buffers and Screening Table on Sheet 4 of the concept plan. The following describes the methods employed corresponding to the table:

A modification along the boundary labeled "A to B" on Sheet 4 is requested between the live-work units and the public parking lot. These units contain first floor commercial uses, which will face the parking lot with the intent of attracting the public to these commercial uses. Therefore, a buffer and screening is not desirable, since the uses need to be integrated with the public parking area and the sidewalk, not screened from those uses. A 15-foot wide buffer is proposed, which will include the sidewalk and canopy trees at the top of the retaining wall between the two uses. The retaining wall provides a semi-opaque separation, in addition to the vertical separation. A stair/ramp feature is proposed for transit between the two levels.

A modification along the boundary labeled "C to D" on Sheet 4 is requested between the AT&T facility and residential uses. A fifteen-foot buffer is proposed, which will include an ornamental fence along the perimeter of the to be expanded AT&T parcel with supplemental plantings appropriate to the buffer width as shown on Sheet 4 of the CP. The fence and plantings provide a semi-opaque buffer between the two parcels. The AT&T site primarily houses equipment with infrequent visits by employees, which means a semi-opaque buffer is appropriate between the two uses.

A modification along the boundary labeled "B to C" and "D to E" on Sheet 4 is requested between the residential uses and the commercial uses and the W&OD Trail. A 15-foot buffer is proposed, which will include an ornamental metal fence with supplemental plantings appropriate to the buffer width. Evergreen trees will not be included, however, since the Trail is considered a focal point for the community and the views of the Trail need

to be kept open. This semi-opaque buffer will provide clear separation between the project and the W and OD Trail, while providing residents a view of the adjacent trail amenity. Two entrances from the property to the trail adjacent to on-site open space areas will invite trail users to visit the property – particularly the commercial uses.

A modification along the boundary labeled "E to F" pm Sheet 4 is requested between the residential uses and adjacent commercial use. A 15-foot wide buffer and opaque screen consisting of a six-foot board-on-board fence supplemented by plantings appropriate to the buffer width and sidewalk is proposed along this segment. The residents will not need to interact with adjacent commercial use, Banner Glass, which makes the opaque screen appropriate for this segment of the perimeter.

A modification along the boundary labeled "G to H" on Sheet 4 is requested between the residential uses and the adjacent retail uses. A 15-foot wide buffer is proposed, which will include a retaining wall with ornamental fence and plantings appropriate to the buffer width. The retaining wall, coupled with the vertical separation, provides a semi-opaque buffer.

A modification along the boundary labeled "H to I" on Sheet 4 is requested between the residential uses and the bank property. A ten-foot wide buffer with six-foot ornamental metal fence supplemented by plantings appropriate to the buffer width is proposed, since the existing buffer on the bank property ranges from 10-feet to 34-feet wide and is densely planted, providing a semi-opaque buffer between the two properties.

A modification along the boundary labeled "I to J" on Sheet 4 is requested between the residential uses and the bank property. A twelve-foot wide buffer is proposed, which will include an ornamental metal fence and plantings appropriate to the buffer width with a small segment including a three-foot high or lower retaining wall with ornamental metal fence. In addition, supplemental planting materials are proposed for the buffer on the Middleburg Bank property. The retaining wall, coupled with the on-site and the adjacent landscaping will provide a semi-opaque buffer adjacent to the bank drive-through area.

Along the AT&T Corp. property boundary, the following modifications also are requested.

- For the property line adjacent to Building I, a four –foot buffer width with plantings and fence as shown on Sheets 4 and 19 of the CP is proposed.
- For the property line adjacent to the row of parking spaces, a six-foot buffer width with plantings and fence as shown on Sheets 4 and 19 of the CP is proposed.
- For the property line adjacent to Building C, a six-foot buffer width with plantings and fence as shown on Sheets 4 and 19 of the CP is proposed.

IV. Zoning Ordinance Section to be Modified

Section 14.2.1.B Creek Valley Buffer – Buffer Setbacks – Standard Setbacks

150 feet on each side of the creek measured along the slope of the ground from the centerline of the channel of each creek or stream where the watershed is greater than 640 acres.

Requested Modification

The applicant proposes to reduce this setback as necessary to provide improvements to Harrison Street and develop the site as shown on the Concept Plan. Town Branch is located 115-feet from the Crescent Place property boundary and 50-feet from the trail proposed for Raflo Park along the south side of Harrison.

Justification for Modification

The applicant is proposing an urban streetscape along the east side of Harrison Street as a continuation of downtown Leesburg. The 150 foot Creek Valley Buffer setback extends to the east side of Harrison Street. The buffer is being reduced to permit development adjacent to Harrison Street in keeping with the character of downtown Leesburg. The applicant will provide BMP practices as called for in Section 14.2.2 of the Zoning Ordinance. As an additional off-set to mitigate this modification, additional riparian plantings are proposed for Raflo Park as shown on Sheet 4 of the Concept Plan.

VI. Zoning Ordinance Sections to be Modified

Section 8.3.2 Lot Size – Lot Area - Single-family, attached – Lot Area 1,600 sq. ft. minimum – no more than 25% of total SFA units; Lot Area 2,000 sq. ft. minimum – no fewer than 75% of total SFA units.

Section 8.3.2 Lot Size – Lot Width – Single-family, attached – Lot Width 18 feet for lots less than 2,000 sq. ft.

Requested Modifications

The applicant proposes a minimum Lot Area of 815 square feet with an average lot size of 900 square feet and minimum Lot Width of 16 feet for the smaller (16-foot wide) single-family, attached dwelling units, and a minimum Lot Area of 1,000 square feet with an average lot size of 1,400 square feet and minimum Lot Width of 20 feet for the larger (20-foot wide) single-family, attached dwelling units. A proffer has been included in the proffer statement to provide at least two 20-foot units and one 16-foot unit in each stick of single family attached dwelling units.

Justification for Modification

This modification is requested to accompany a residential design and lay-out that is more urban in style than the suburban character that the zoning ordinance requirement for minimum lot size and lot area would produce. Crescent Place is being developed as an urban-infill community located adjacent to the historic downtown area of Leesburg, as well as adjacent to two major open space amenities of Leesburg – the W&OD Trail and Raflo Park. Urban infill design means smaller unit and lot sizes, with better proximity to urban amenities than a standard suburban single family attached design.

VII. Zoning Ordinance Section to be Modified

Section 12.3.1.Twenty-Year Tree Canopy Requirements – All submittals of final subdivision plats or site plans under Article 13 of the Subdivision and Land Development Regulations shall include a plan for the preservation, planting and/or replacement of trees on the site to the extent that, at maturity of twenty years, minimum tree canopies or covers will provided in the areas designated in the Town of Leesburg Zoning Ordinance as follows:

E. Every platted lot shall have a minimum tree canopy coverage of 2 1/2 percent or 3,000 sq. ft., whichever is less.

Requested Modification

The applicant proposes to meet the requirement of Section 12.3.1.C, which requires a twenty-year tree canopy of 15% with a density of 19.74 dwelling units per acre, following the proffered landscape on Sheet 4, but not provide the minimum tree canopy coverage on each individual lot.

Justification for Modification

As an urban infill-style development, the landscape plan is designed under an overall plan and not designed on individual lot basis. The landscape plan focuses on providing street trees along the internal private streets (street residential common parking courts) and surrounding the perimeter of the property, which will provide canopy coverage for the majority of the individual lots. The lots lacking in canopy coverage all front on one of the open space/green/plaza areas that by design are not providing tree canopy coverage, but rather an alternative open space area for community gathering and play space. This landscape plan provides tree canopy coverage for lots fronting on the street RCPCs (Buildings F, G, H, J, K, L, M, N, O, P, T, U and Z) and lots adjacent to the perimeter of the property (Buildings A, B, C and I). Buildings D and E face Harrison Street, which has street trees, but the canopy from those trees will not provide coverage on the individual lots of those two buildings. Building Q fronts on the pedestrian plaza/green and is adjacent to perimeter landscaping, but will not have canopy coverage on the individual lots. The ends of Buildings R and S are adjacent to perimeter landscaping and RCPC street tree plantings, but front on open space with a portion of the walkway system that does not provide canopy coverage on the individual lots. The ends of Buildings V and X are adjacent to RCPC street tree plantings, which provides canopy coverage for the end lots, and Buildings W and X are adjacent to perimeter landscaping that does not provide canopy coverage on the individual lots. All four of these buildings, however, front on an open space/green that will remain free of canopy coverage in order to provide a clear space for active games and play. . As an additional off-set to mitigate this modification, additional riparian plantings are proposed for Raflo Park as shown on Sheet 4 of the Concept Plan.

VIII. **Zoning Ordinance Section to be Modified**

Section 10.4.5 Minimum Yard Requirements

C. Extensions into Required Yards. *The following uses and structures shall be permitted to be located within required yards, subject to the limitations established herein. No structure may be erected over a public right-of-way or easement, except as permitted in the Town Code.*

4. Balconies, Chimneys, Porches, Bay Windows, Steps and Landings. *Balconies, chimneys, porches, bay windows, steps and landings which comprise less than one-third the length of the wall may project up to three feet into a required yard, but no closer than five (5) feet to any lot line.*

5. Decks and Patios. *. . . .Uncovered decks, which are attached to the principal structure and are more than three (3) feet above grade on the lot, may extend into a required rear yard to within twenty (20 feet of the property line, however, side yard requirements shall apply....*

Requested Modification

For the front entry stoops for the single family attached units, the applicant proposes that the stoop may extend to the front property line with a depth of 3.5 feet between the front of the principal structure and the front property line.

For the rear decks for the single family attached units, which are more than three feet above grade since they will be attached to the second level of the units, the applicant proposes that the deck may extend to the rear property line with a depth of four feet between the rear of the principal structure and the rear property line.

Justification for Modification

In this urban infill setting, the units are placed close to the private streets along the front and the residential parking courts along the rear. Therefore, the architectural features that are permitted to extend into the yards extend to the property line on these urban infill lots. This style of development is not designed to provide front and rear yards as open space for these units, but rather as elements of the streetscape. Residents sitting on the front stoops and rear decks will be able to interact as neighbors walk by on the street sidewalk or the residential parking court.

MODIFICATIONS FOR THE AT&T CORP. PROPERTY

IX. Zoning Ordinance Sections to be Modified

Section 12.8.5.C Modification Buffer-Yard Requirements – Special Design

Buffer yard requirements may be waived or modified by the Land Development Official where the side of a building, a barrier and/or the land between that building and the property line has been specifically designed to minimize the adverse impact through a combination of architectural and landscaping techniques.

Section 12.8.6. D Screening – Alternative Screens and Modifications

Alternative planting programs that achieve the objectives of the required screens are permitted to allow flexibility in landscape design. The Land Development Official may approve any of the alternative screens provided below or a combination of the alternatives if the applicant can demonstrate that the objective of the screen has been met. The Land Development Official may reduce or eliminate the requirements for evergreen trees or shrubs if a landscape plan proposes the use of hedges, shrubs, walls or berms that achieve the objective of the required screen.

Requested Modification

The AT&T owner is requesting to apply the buffers and setbacks as shown on Sheet 4 of the CP.

- For the property line adjacent to Building I on the LAP Property, no (0') buffer yard is proposed.
- For the property line adjacent to the row of parking spaces on the LAP Property, a five-foot buffer width with plantings and fence as shown on Sheets 4 and 19 of the CP is proposed.
- For the property line adjacent to Building C on the LAP Property, a fifteen-foot buffer width with plantings and fence as shown on Sheets 4 and 19 of the CP is proposed.
- For the property line adjacent to the W&OD Trail, a three-foot buffer width with plantings and fence as shown on Sheets 4 and 19 of the CP is proposed (with the exception of the area where there is an existing generator).

Justification for Modification

The AT&T property is currently in use as switching station providing telecommunication services to Leesburg. AT&T purchased on option to acquire additional land from the property owners prior to LAP to accommodate future expansion plans. AT&T and LAP have now reached agreement for a boundary line adjustment that is reflected on the CP to accommodate AT&T's use of its property and its future expansion plans. The building is unoccupied except for electronic equipment and is serviced approximately once a week. Since maintaining a constant source of power is critical to AT&T providing service to Leesburg, a back-up power generator also is located on the property. The proposed buffer modifications reflect the current and future of the property. A three-foot buffer width is proposed along the W&OD Trail to accommodate the location of existing structures and parking and driveway areas. No buffer is proposed along Building I, since the driveway access to the back-up power generator is provided along that property line. A fifteen-foot buffer can be provided along Building C without interference with the current use of the site. A five-foot buffer is proposed adjacent to the row of parking spaces in order to accommodate the proposed building expansion and driveway access to the back-up power generator.

MODIFICATIONS OF THE DCSM GRANTED BY THE LAND DEVELOPMENT OFFICIAL FOR THE LAP PROPERTY

X. DCSM Section to be Modified

Section 7-361.3 Spacing of Entrances on the Public Right-of-Way

The entrance centerline for commercial entrances entering along the same side of the street shall be spaced a minimum of 200 feet. Under specific circumstances, the Director may modify this minimum dimensional requirement when sufficient justification is provided by the Applicant.

Proposed Modification

The applicant proposes a spacing between entrances onto Industrial Court of 104.5 feet with the eastern entrance (closer to Catoctin Circle) being restricted to a one-way egress only entrance.

Justification for Modification

The design for Crescent Place involves private streets providing the primary vehicular access through the property and with residential common parking courts providing vehicular access to the rear of individual units where the driveways and garages are located. Service vehicles, such as trash trucks, also need to access the residential common parking courts. Industrial Court provides entrances for a private street and a residential common parking court for the units located in the northeast corner of the property. These entrances are located at the end of Industrial Court in the bulb of the cul-de-sac., which means there is no through traffic at this end of Industrial Court. The Concept Plan for the rezoning of Crescent Place restricts the residential common parking court entrance onto Industrial Court to one-way egress only, which provides a safe condition for the two entrances with more than 100 feet of separation at the end of the cul-de-sac.

Attachment 6 - E Matrix of Discussion Items

	Staff Recommendation	Applicant's Response
Layout		
CDMP Land Use/Density	Recommend additional commercial use along Harrison Street	Flood Plain and parking constraints
Site Design/Modifications		
AT&T Buffer-yard (B-C)	Revise the concept plan to provide a buffer-yard wide enough to provide an appropriately design buffer-yard that includes the three components of the required buffer-yard: shrubs, canopy and evergreen trees	Noise attenuation measures have been proffered to and the proposed 5' buffer-yard and composite fencing is adequate
W&OD Buffer-yard (D-L)	Revise the concept plan to provide a buffer-yard wide enough to provide an appropriately designed buffer-yard that includes the three components of the required buffer-yard: shrubs, canopy and evergreen trees	The proposed buffer-yard and decorative fencing is adequate
Harrison Street Clear-zone	Revise the street section to meet applicable VDOT design requirements	Will work with Staff to revise the street section
Commercial Parking	Continue Discussion started with the Planning Commission	Adequate as proposed
Utility Coordination	Possible significant changes to the landscaping and streetscape	Will deal with potential issue at site plan
Concept Plan Revisions		
AT&T Site Details	No changes appear to have been made	Add required details to the plan
BMP Locations	No changes appear to have been made	Show locations on the concept plan
Proffer issues		

PRESENTED: October 22, 2013

ORDINANCE NO. _____

ADOPTED: _____

AN ORDINANCE: APPROVING CONCEPT PLAN AND PROFFER AMENDMENT TLZM 2012-0003, CRESCENT PLACE, AMENDING TLZM-2005-0001 HARRISON PARK; AND REZONING 0.12 ACRES OF LAND FROM CD-RH TO PRN; THE PROPERTIES BEING LOCATED NEAR THE INTERSECTION OF HARRISON STREET AND CATOCTIN CIRCLE.

WHEREAS, a Rezoning Application has been filed by Leesburg Acquisition Partners LLC for a concept plan and proffer amendment to TLZM-2005-0001 Harrison Park to allow 16,000 square feet of commercial uses and a maximum of 226 dwelling units. The subject properties have the County of Loudoun parcel identification numbers 231-19-3353, 231-19-6022, 231-19-6044, and 231-19-0774; and

WHEREAS, the Rezoning Application has been jointly filed by AT&T Corporation to rezone 0.12 acres of land to increase the existing building square footage by a maximum of 4,600 square feet. The subject property has the County of Loudoun parcel identification number 231-19-2572, from CD-RH to PRN; and

WHEREAS, a duly advertised Planning Commission public hearing was opened on September 15, 2013, and closed on October 3, 2013; and

WHEREAS, at their regular meeting of October 3, 2013, the Planning Commission recommended conditional approval of this application to the Town Council; and

WHEREAS, the Town Council held a duly advertised public hearing on this application on October 22, 2013; and

WHEREAS, staff recommended approval; and

AN ORDINANCE: APPROVING CONCEPT PLAN AND PROFFER AMENDMENT TLZM 2012-0003, CRESCENT PLACE, AMENDING TLZM 2005-0001 HARRISON PARK; AND REZONING 0.12 ACRES OF LAND FROM CD-RH TO PRN; THE PROPERTIES BEING LOCATED NEAR THE INTERSECTION OF HARRISON STREET AND CATOCTIN CIRCLE.

WHEREAS, the Council has concluded that the approval of the application would be in the public interest and in accordance with sound zoning and planning principles.

THEREFORE, ORDAINED by the Council of the Town of Leesburg in Virginia:

SECTION 1. Rezoning Application TLZM 2012-0003, with the property having the County of Loudoun parcel identification number of 231-19-2572, is hereby rezoned to the PRN district, subject to the proffers last dated October 22, 2013; and

SECTION 2. Rezoning Application TLZM 2012-0003, with the properties having the County of Loudoun parcel identification numbers 231-19-3353, 231-19-6022, 231-19-6044, and 231-19-0774, is hereby approved, subject to the proffers dated October 22, 2013; and

SECTION 3. The following modifications of the Town of Leesburg Zoning Ordinance (TLZO) are hereby granted with the approval of Rezoning Application 2012-0003:

1. Reduced Lot Area, Lot Width and Average Lot Size: (TLZO Sec. 8.3.2)
2. Reduced Required Residential Parking Calculation: (TLZO Sec. 11.3),
3. Reduced Commercial Parking: (TLZO Sec. 11.3)
4. Alternate On-Lot Canopy Coverage: (TLZO Sec. 12.3.1.E)
5. Reduced Buffer-Yards and Screening Material: (TLZO Sec 12.8.5.C & 12.8.6.D)
6. Reduced Creek Valley Buffer: (TLZO Sec. 14.2.1.B)
7. Extensions into Required Yards: (TLZO Sec. 10.4.5.C.4 and Sec. 10.4.5.C.5)

AN ORDINANCE: APPROVING CONCEPT PLAN AND PROFFER AMENDMENT TLZM 2012-0003, CRESCENT PLACE, AMENDING TLZM 2005-0001 HARRISON PARK; AND REZONING 0.12 ACRES OF LAND FROM CD-RH TO PRN; THE PROPERTIES BEING LOCATED NEAR THE INTERSECTION OF HARRISON STREET AND CATOCTIN CIRCLE.

PASSED this 22nd day of October, 2013.

Kristen C. Umstattd, Mayor
Town of Leesburg

ATTEST:

Clerk of Council