



**LEESBURG BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT**

**PUBLIC HEARING AND WORK SESSION: 16 JULY 2012
AGENDA ITEM 7b**

BAR Case No. THLP-2012-0050: New Construction of a secondary structure

* This is a follow-up report to the July 2, 2012 Site visit, BAR Work Session and discussion and revised drawings submitted July 9, 2012

Reviewer: Kim K. Del Rance, LEED AP
Address: 212 N King Street
Zoning: B-1, H-1 Overlay District
Applicant/Owner: Thomas Hoffman

Site Description:

The site for the proposed garage is at the far rear part of a long narrow yard. The new garage will extend from one side setback to the other.

Context: This property is in the heart of downtown in the North King Street Gateway part of the Old and Historic District. The main house sits close to the street and has had a contemporary addition added to the rear which will face the new garage which will be located at the opposite end of the property. The existing survey shows a shed located mid yard along the northern boundary, but this shed has been relocated to the rear of the yard where the new garage is proposed. The owner has requested permission to demolish the shed which is addressed in TLHP-2012-0058. There was a proposed larger two story garage addressed in TLHP-2005-0074 that was conditionally approved, but never built.

Description of Proposal:

New Construction of a two bay two story garage at 212 N King St after demolition of a wood frame shed which is listed on the 1975 survey as historic. Owner requests to build a two bay two story garage and workshop with materials similar to those on the contemporary rear addition of the house except for the following:

1. The foundation will be concrete slab with no more than two inches above ground.
2. The siding will be fiber cement board, but the sample photo shows a grained board.
3. The roof will be a black standing seam metal roof
4. The windows, pedestrian door and garage door details have not been provided

Site Development/Zoning Issues: The proposed shed is designed and shown in a location on the lot that conforms to the minimum yard and bulk requirements for Accessory Structures provided in Zoning Ordinance Section 10.4.5.C.1. There is no other site design or zoning issue with this proposal.

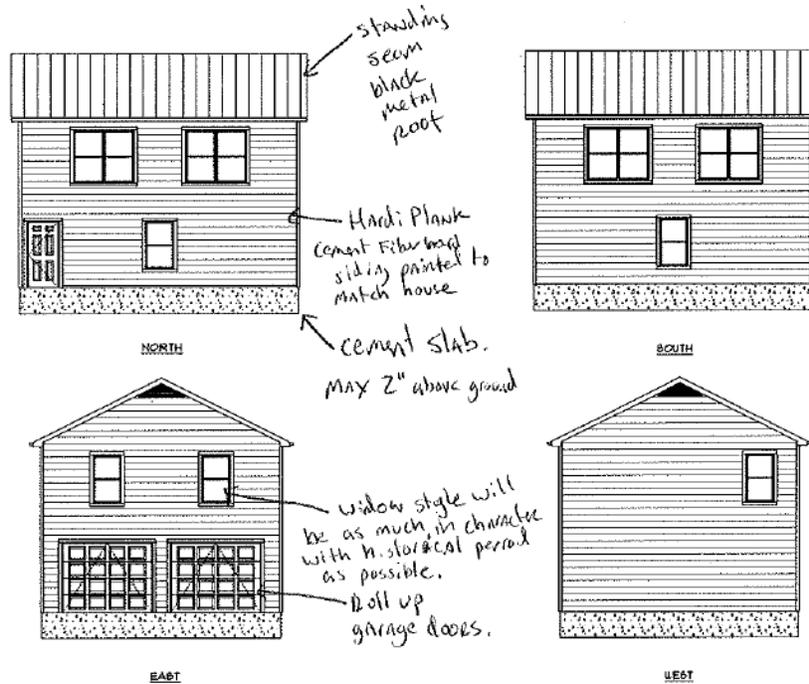
APPLICABLE GUIDELINES

Roof

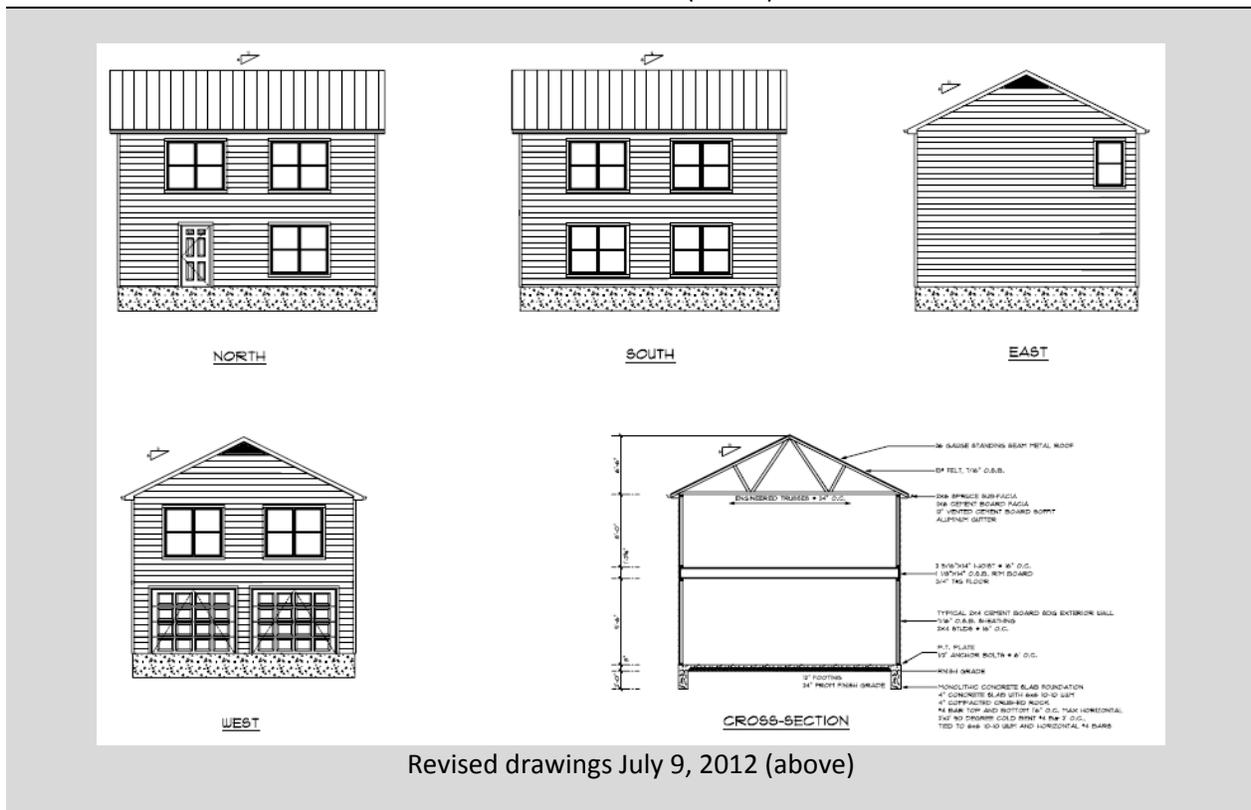
The applicant has provided the roof pitch on the drawings of a 6/12 pitch, which is appropriate

Windows and Doors

As the drawings show below, the revised window and door placement create a nearly symmetrical garage, with some elevations being completely symmetrical. All elevations are now balanced.



First Submission (above)



Revised drawings July 9, 2012 (above)

Materials, Texture and Color

- Cement fiberboard siding should be smooth and not grained (not noted if it is planned).

Colors are to match the modern addition on the house facing the garage, which is appropriate.

STAFF RECOMMENDATION/DRAFT MOTION

(Based on the BAR's discussion at the meeting, any changes to the language of either part of the motion should be incorporated as necessary.)

Based on the findings that:

- **The foundation, roof and proportion are all appropriate**
- **Cement fiberboard siding should be smooth and not grained**
- **The windows, doors and garage doors may be approved by staff at a later date**

Staff recommends approval of TLHP-2012-0050 subject to the Hoffman residence plans dated May 7, 2012 submitted as part of this application material set and subject to the following conditions:

- **Cement fiberboard siding will be smooth**

DRAFT MOTION

I move that TLHP-2012-0050 be approved subject to the plans submitted by Thomas Hoffman on May 17, 2012, the revised drawings submitted July 9, 2012 and subject to the findings and conditions of approval as stated in the July 16, 2012 Staff Report (or as amended by the BAR on July 16, 2012).