



**LEESBURG BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT**

SPECIAL PUBLIC HEARING AND WORK SESSION FOR COURTHOUSE SQUARE PROJECT: 5 SEPTEMBER 2012

BAR Case No. TLHP-2012-0040 Courthouse Square: Commercial Mixed-use Building on Loudoun Times Mirror property. Report #1 was June 4, 2012, Report #2 was June 27, 2012, Report #3 was July 11, 2012, Report #4 was July 25, 2012 and Report #5 was August 8, 2012.

This is Report #6 – second overall review of all submissions

Reviewer: Kim K. Del Rance, LEED AP
Address: **9 E Market Street and interior of block enclosed by Market, Church, Loudoun and King Street**
Zoning: B-1, H-1 Overlay District
Applicant/Owner: Leesburg Value Fund I, LLC

Description of Proposal:

Leesburg Value Fund I, LLC (Owner) requests construction of a new 113,650 square foot mixed office use, retail and restaurant building with associated parking structure. Part of the proposed square –foot area will include an addition on to the Loudoun Times Mirror building at 9 E Market St. The parking structure will contain 336 parking spaces on five levels in support of the 113,650 square feet of by-right commercial, office and retail uses in downtown Leesburg. The maximum height of the building will reach approximately 63 feet with the HVAC and mechanical equipment located on the roof approximately 12 feet tall.

Site Description:

The site is comprised of four separate lots (PIN 231-38-6044, 231-38-6661, 231-38-5350, and 231-38-5459) measuring a combined total of approximately 1.7 acres. A portion of the property (9 Market Street, PIN 231-38-5459) contains the Loudoun Times Mirror building; an approximate 5,500 square foot building with an 18,296 square foot cinder block addition on the rear built in 1975. This portion of the site faces north and contains frontage on E. Market Street. The remainder of the site is currently paved and utilized for surface parking. It has frontage on Church Street and Loudoun Street SE and is surrounded by commercial uses fronting on King, Loudoun and Market Streets, the Loudoun County Government Center, and the Loudoun County Courts Complex. The property is zoned B-1, Community (Downtown) Business with H-1, Old and Historic Overlay District.

Context:

The subject property is situated on an original block of the Nicolas Minor subdivision established in 1759. Throughout the history of Leesburg, this block has been one of the primary commercial blocks in Leesburg. The existing architecture on the King Street, Market Street and Loudoun Street frontages reflect the architectural history of Leesburg from the ca 1758 McCabe Tavern/Paterson House and ca 1800 Lynch-Tebbs House on Loudoun Street to the ca 1810, remodeled in 1909 and 1971 20 S. King Street to the 1901, remodeled in 1920 – 1925 Loudoun National Bank Building at the corner of King and Market to the 1923 US Post Office at 15 Market Street and the 1916 Loudoun Times Mirror Building at 9 Market Street.

The Loudoun Times Mirror building is a contributing resource in the Old & Historic District. Built in 1916 as an automobile showroom it has withstood various use changes without altering the architectural integrity in its nearly 100 year history in its prominent location directly opposite from the courthouse complex on one of the most significant blocks in Leesburg's downtown.

Site Development/Zoning Issues:

On May 2011, the Town Council adopted TLOA-2011-0001 which increased the maximum building height in certain portions of the B-1 Zoning District to 65 feet so long as specific conditions were met. The proposal meets the Zoning Ordinance qualifications for the maximum height in this portion of the B-1 District; however, the final determination of building form, including height, will be made by the BAR in accordance with Zoning Ordinance Section 6.3.3.E note [7].

TLSE-2011-0002 was granted conditional approval on March 27, 2012 by Resolution 2012-0041.

Progress of Proposal:

The Review Process – second final review

The Staff Report for this September 5, 2012 special meeting is the second attempt at a final review report reviewing all of the previous meetings and decisions made on various elements of the project, including the partial demolition and those requirements as well as the new construction.

The review of this application has been approached as follows:

– June 4, 2012

- 1. General assessment of the massing at the Loudoun Times Mirror Building and initial mass and scale comments on the proposal**

– June 27, 2012

- 2. General assessment of the site plan features:**
 - Accessibility – Pedestrian and Drive locations
 - Parking areas
 - Other concerns as needed
- 3. General assessment of the massing at the new construction:**
 - Building height
 - Roof forms
 - Directional emphasis
 - Building components

– July 11, 2012

- 4. Detailed assessment of the massing at the new construction:**
 - Building height
 - Roof forms
 - Cornices and Trim
 - Directional emphasis
 - Building components
 - Fenestration pattern
 - Materials

– July 25, 2012

5. Detailed assessment of elements:

- Doors, Windows and parking garage openings
- Materials
- Architectural details
- Lighting
- Mechanical Equipment
- Landscaping
- Other concerns as needed

– August 8, 2012

Final review and discussion for Loudoun Times Mirror addition:

1. Changes since the July 25 meeting
2. Overall review of scale, materials and details

*Final Staff recommendation on Demolition case TLHP-2012-0042 in separate report

Final review and discussion for new construction:

1. Accessibility – Pedestrian and Drive locations
2. Parking areas
3. Building height and massing
4. Roof forms
5. Directional emphasis
6. Building components
7. Cornices and Trim
8. Fenestration pattern
9. Doors, Windows and parking garage openings
10. Materials
11. Architectural details
12. Lighting
13. Mechanical Equipment
14. Landscaping and screening
15. Other concerns as needed
16. Final decision on entire project

17. * Town plan chapter 5, Objective 1, states:

“Encourage private commercial development to incorporate art into prominent projects”.

– September 5, 2012

1. Changes since the July 25 meeting that were not fully reviewed in time by the August 8, 2012 meeting.
2. Changes since the August 8, 2012 meeting
3. Changes made from comments since the August 8, 2012 meeting
4. Final staff assessment and recommendation
5. Final draft motion

Loudoun Times Mirror Building (LTM):

APPLICATION OF THE GUIDELINES:

Guidelines:

Chapter VII p.81:

“The intent of these guidelines is not to be overly specific or to dictate certain designs to owners and designers.”

“What may be appropriate in some areas may not be appropriate in others. Some parts of the historic district retain a high degree of their original historic character. In these areas, the new design must not visually overpower its historic neighboring buildings.”

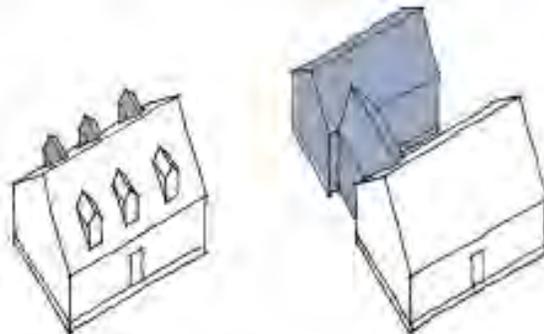
“In the case of an addition to an existing building, the new work should be differentiated from the old but compatible with the massing, size, scale, and architectural features to protect the historic character of the property.”

Chapter VII Additions to Existing Buildings p.86:

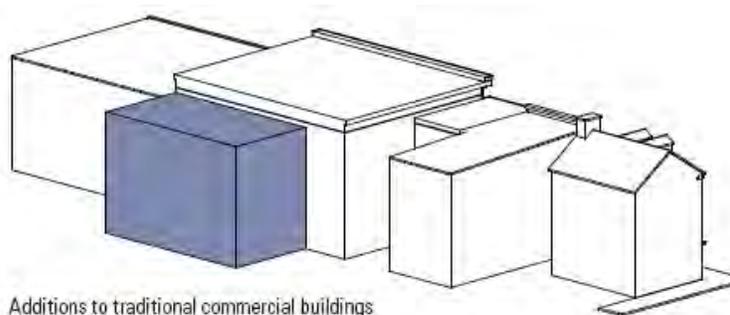
B.3. Size and Subordination

- a. Limit the size of the addition so that it *does not visually overpower the existing building.*
- b. Rear additions should not exceed the height of the historic building, so that the new section is not visible from the front of the structure.

The appropriate massing of an addition varies depending on the style and form of the original building as noted in these illustrations.



Examples of additions to existing buildings shown in the Guidelines p. 86



Additions to traditional commercial buildings should be placed behind the original building.



* There are no photographic examples of additions to commercial buildings

P. Materials, Texture and Color

2. Wall Materials, Texture and Color

Traditional wall materials in the Old and Historic District include *brick, stone, stucco, and wood siding*.

e. Wood siding in traditional profiles and patterns is appropriate for use on new construction and additions, especially in neighborhoods where wood is the predominant siding material.

f. The use of cement fiberboard clapboard or shingles is permitted for new construction in the OHD and should be applied in a method that conveys the appearance of the district's historic wood siding.

STAFF ASSESSMENT

While the guidelines state additions should not be visible from the front of the existing structure, examples shown in the guidelines make it clear that they can be visible, such as in side additions, but must be subordinate to the existing structure. No examples of commercial additions are shown, however, the graphics show that rear additions should not be visible from the front. A conclusion can be drawn, however, that since exceptions can be made for side additions, it may be appropriate for rear additions to be visible as long as they are subordinate to the existing structure.

The addition to the Loudoun Times Mirror building has been pulled back so that its visibility is subordinate to the existing historic building, but additional care must be taken to ensure the addition is subordinate in mass, size, scale and architectural features. The siding on the third floor of the addition is subordinate in its light grey color, scale and features. The dormers are appropriately scaled, detailed and roofed to be compatible with the historic district. The ventilation louvers have been successfully integrated into the design as well.

However, the *second floor* siding, which has been discussed thoroughly by the BAR at previous meetings, is in question. It is not clear how the proportions of the 18 inch tall and 6 foot long panels will look against the scale of the traditional sized bricks on the Loudoun Times Mirror building. Staff is concerned that this siding treatment is not compatible with the historic LTM building. This is important because the LTM building is a contributing structure on one of the most historically intact and important streets in the National Register of Historic Places District in Leesburg.

Please refer to the following list of illustrations attached to the report and referenced in the discussion below:

Figure 1 - Nichiha cement fiber board panels proposed by the architect

Figure 2 – Photographic examples of the product on built structures

Figure 3 – Photographic examples of the product found on Google Images

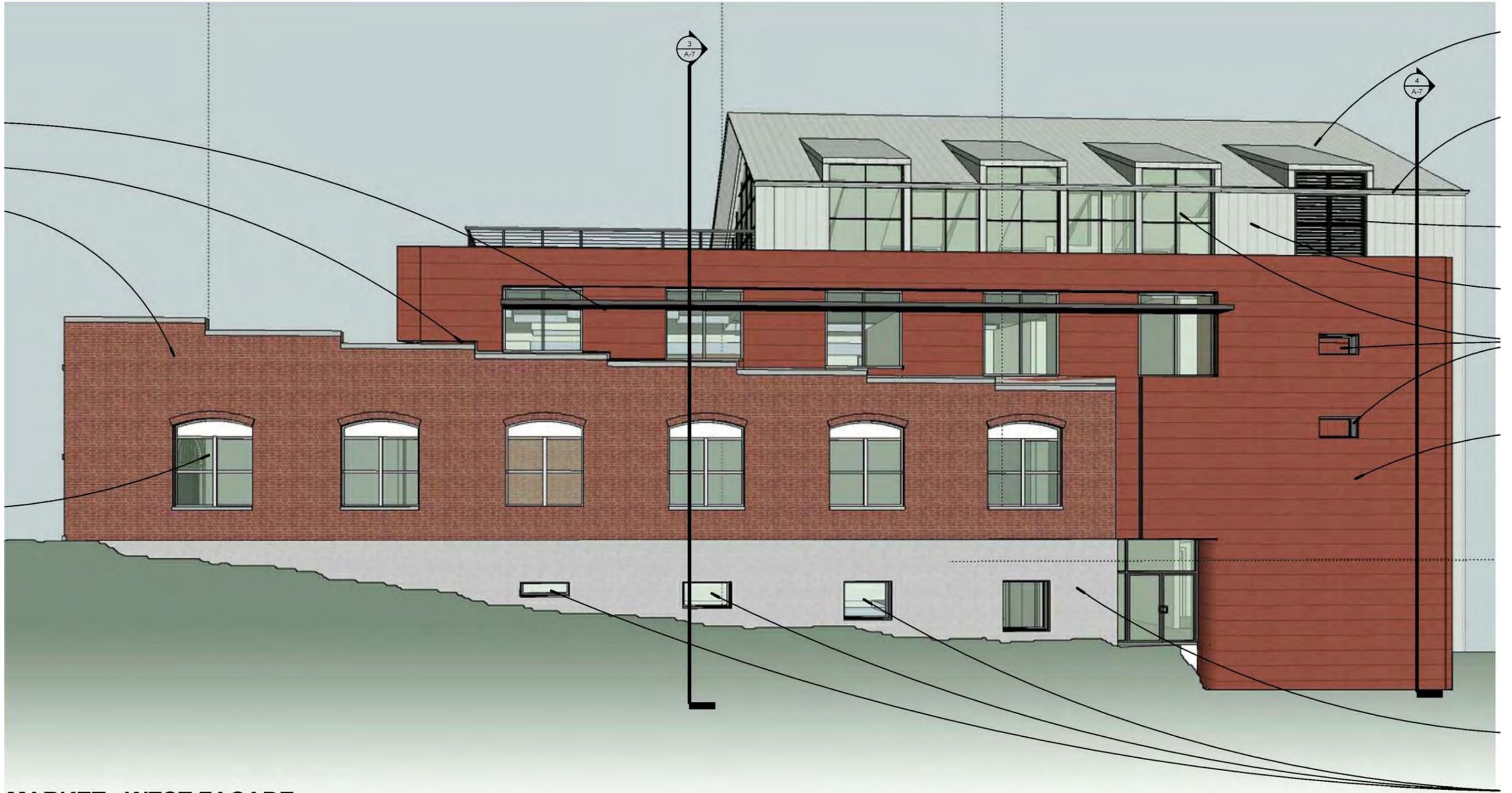
Figure 4 – Staff adjustments to Figure 1 to show the vertical seams that are visible on the photographic examples but which are not visible on the rendering on Figure 1

Figure 5 – Illustrative example of vertical oriented siding

Figure 6 - Staff adjustment of Figure 1 to show proportions of horizontal siding that is typical to Leesburg including the building west of the LTM building

Figure 7 – Original submission by applicant showing vertical James Hardie board in grey

Figure 8 – Photograph of East Market Street showing the LTM building and building to the west, both with traditional horizontal siding



MARKET - WEST FACADE

Figure 1 - Rendering from submission by DBI Architects of Nichiha cement fiber board panels 18" x 72" horizontal with reveals and no lapping. This rendering shows no vertical seams which will be visible as can be seen on the following pages of actual photographs or the product in use.

CREATING HIGH-STYLE FOR LOW-COST
Illumination Series



Illumination Series

Clients are looking at budgets closer than ever, it's time you looked to Nichiha. Sleek, bold, dramatic. These are the words industry professionals are using to describe Nichiha's Illumination Series line of fiber cement panels. Its smooth finish, easy installation and custom color capabilities** give you a degree of design freedom other cladding products simply can't match — at a price your budget can always accommodate.

ILLUMINATION SERIES

OYSTER

PATINA

SIENNA

STORM

UMBER

CUSTOM**



Illumination Series



Illumination Series Product Specifications	
Dimensions (nom. ft. ~ actual mm)	16" [h] x 6' [l] (485mm [h] x 1,818mm [l])
Thickness (nom. in. ~ actual mm)	5/8 (16mm)
Weight (lbs. per panel)	37.9
Weight (lbs. per sq. ft.)	4.2
Coverage (sq. ft. per panel)	9
Exposed Coverage (sq. ft. per panel)	9

A CLOSER LOOK
ILLUMINATION
SERIES



Nichiha's Illumination Series delivers sleek sophistication with a custom flair. But don't let the pretty face fool you. There's more than meets the eye. Actually a lot more when it comes to the savings Illumination Series panels brings when compared to traditional Aluminum Composite Manufacturer panels. Our panels go up fast, installs 9 square feet at a time; require no special tools and easily accommodate all kinds of trim options. Know what else is cool about Illumination Series panels? They are made here in the USA and depending on your location can offer an additional LEED™ point for local product.* Contains 25% recycled content as well. Available in five high-gloss finished color options as well as full custom color capacities.** Illumination Series panels add a splash of color and style to a wide array of projects:

- National franchises
- Schools
- Healthcare
- Retail
- Hospitality
- Multifamily
- Mixed Use

*Applies to all materials and custom glass finishes.

Figure 2 – Nichiha photographic images of actual built projects using Illumination cement fiber board panels - horizontal with reveals and no lapping – from submission by DBI Architects.* **The vertical seams are visible.**



Figure 3 – Nichiha photographic images of actual built projects using Illumination cement fiber board panels - horizontal with reveals and no lapping – from Google image search. * **The vertical seams are visible.**



Figure 4 - Rendering of Figure 1 adjusted by preservation planner to **show vertical seams** of Nichiha cement fiber board panels 18" x 72" horizontal with reveals and no lapping. Verticals shown as visible since they are visible on the photographic examples on the previous pages.



MARKET - WEST FACADE

Figure 5 - Rendering of Figure 1 adjusted by preservation planner to show vertical direction siding proportionally similar to board and batten or a vertical barn siding. However, the horizontal seams have not been rendered due to not knowing the length of the boards or panels that could be selected for use.



MARKET - WEST FACADE

Figure 6 - Rendering of Figure 1 adjusted by preservation planner to show horizontal 8" to 9" siding, typical to Leesburg. Lapped siding would have a stronger horizontal seam than the random vertical butt joints between boards so the vertical has not been shown although it would be slightly visible as can be seen around town.



Figure 7 - Original submission by applicant's architects showing vertical siding, typical to Leesburg –it has been agreed the color will be a neutral red/brown and the stone has been removed.



9 E. Market St (Loudoun Times Mirror building) 7 E. Market St (original wood siding since 1878) 5 E. Market St Wood siding from 1850's under aluminum

Figure 8 – East market Street showing the Loudoun Times Mirror building and the building right next to it with siding, typical to Leesburg. A statement was made that wood siding was not in the immediate are of the Loudoun Times Mirror building (9 E. Market St), this photograph taken from Google Street images shows the building at 7 E Market Street, which is a frame vernacular building dating back to 1878 and the former home to both the Washingtonian Newspaper and the prominent Leesburg Attorney Charles Janney. The brick veneer on the front façade was added later in a different style than the original, simple structure. The original use was a house, but was converted to offices many years ago, also typical of Leesburg.

The illustrations provided by the architect show Nichiha cement fiber board panels and what they will look like on the addition above the Loudoun Times Mirror with photographic examples of the product on built structures (Figure 1, 2, 3). Figure 4 - an alteration of Figure 1 - was created by staff to more clearly show the siding pattern that will be created by the 18 inch by 6 foot long panels as they will be situated adjacent to the historic brick pattern of the LTM building.

Staff has suggested to the applicant that the siding pattern that was originally submitted (Figure 7) would be preferable to that which is currently being proposed (see Figure 4.) Alternately, the siding pattern that is shown on Figure 5 – the vertical siding - would also be preferable to the current proposal. A photograph has been provided with these illustrative to show the Loudoun Times Mirror building adjacent to the building to the west. Both buildings are featured with the traditional horizontal wood siding typically found in Leesburg.

Note that the applicant has not agreed to either of these suggestions. Instead they will be submitting altered rendering for the BAR at the September 5 meeting which they believe will better illustrate the 18 inch, 6 foot long panes. The applicant has stated that a non-traditional type of siding can be appropriate when there is a limited amount of siding on adjacent properties. However, staff finds that this position is not supported by the Old and Historic District Guidelines which state that wood siding is appropriate. Further, if a non-traditional material is used it must convey the appearance of the district's historic wood siding. The Nichiha 18" x 6' horizontal panels do not meet this intent and it is staff's assessment that the use of Nichiha panels would not subordinate the new construction to the smaller dimensions of the LTM building.

Staff finds that the proportions on the *original submission* (Figure 7) or the horizontal application of the same size Hardie siding can be approved as fitting the intent of the Leesburg Old and Historic District Guidelines.

Staff notes that should the applicant decide at a later date after approval of THLP2012-0040 to request consideration of an alternate siding, a revision could be submitted to the BAR.

Ch.1A. "The Old and Historic District (OHD), listed on both the Virginia Landmarks Register and National Register of Historic Places, was originally focused on the 1758 Nicolas Minor Plan and the 1878 Gray's New Map of Leesburg."

Ch 1.B. "The purpose of the Old and Historic District (OHD) Design Guidelines is to ensure that the historic architectural character of individual buildings—and the historic district as a whole—is retained as change occurs over time. The guidelines are not intended to prevent development, but rather to guide it so that any changes, including rehabilitation of existing structures and the construction of new buildings, respect the traditional character of the OHD."

Staff Assessment of the new construction:

The following are broad comments about the changes to the mass and scale of the Courthouse Square proposal since July 25, 2012, August 8, 2012 and the final decision.

1. Cornices and Trims

- Drawings of cornice profiles and dimensions at a *detail* scale have, to date, not been submitted for review. The current drawings on sheets A-5 through A-7 are too small for further review of their appropriateness at this time.

*** Final drawings showing the cornices and details are necessary to have a complete set of drawings for this Certificate of Appropriateness.**

2. Doors, Windows and parking garage openings

The parking garage opening will not have a gate or be secured so no detail for a door or gate is being submitted.

- Door details are needed for the painted metal doors shown on the ground floor
- The addition above the LTM is not a masonry building; therefore the windows should have a raised surround, but should not be flush or recessed.
- Regarding the curtain wall the largest central sheet of glass is 52 inches flanked by 36 inch wide sheets all of which are 6' 8" tall. While the curtain wall use has been approved, the proportions and size of the divisions has not been discussed.

3. Lighting

- Illustrations are recommended to demonstrate any lighting on upper floors of the office building, including inside the garage, will not trespass or their lighting elements be visible to pedestrians or traffic.

*** This information is especially important for the review of interior lighting inside the curtain walls and glazing on the upper floors.**

4. Mechanical

Mechanical screening is shown on the rooftop, heights are given and the material and color have been submitted for review and may be appropriate.

- Sight line drawings from points on the street to the rooftop that illustrate the view from the streets surrounding the building are recommended to ensure the mechanical screening will not be seen from the street.

*** To date the requested information relative to the visibility of the mechanical screen has not been provided. These drawings are necessary to complete the set of drawings for this Certificate of Appropriateness.**

5. Landscaping, screening and site details

Landscaping and lighting is now shown for the area behind the dumpsters which is at the top of the retaining wall being built. Details of the cable railing have been submitted as stainless steel in the finer cable size to appear more transparent, which is appropriate.

STAFF RECOMMENDATION

The BAR shall note that the 75 day review deadline was extended to September 5, 2012 in a mutual agreement between the applicant and the BAR on August 17, 2012.

Based on the findings that:

- The second floor siding on the addition to the Loudoun Times Mirror building is not a traditional profile or pattern and whose scale visually overpowers the existing building. The siding must be changed to a traditional profile or pattern.
- The overall massing, scale, fenestration patterns and materials are in accordance with the guidelines.

- Details are missing for the painted metal doors, raised window trim on the addition above the Loudoun Times Mirror building, divisions of scale on the curtain walls and readable scale drawings for cornices.
- Photometric drawings will be required at the site plan approval stage, compliance with the zoning ordinance will be ensured at that point. However, it is necessary to demonstrate that any lighting on upper floors of the office building, will not trespass onto adjacent properties or their lighting elements will be visible to pedestrians or traffic on streets surrounding the building.
- Sight line drawings demonstrating that the rooftop mechanical appurtenances will not be visible from the right of way are missing.

Staff recommends approval of TLHP-2012-0040 subject to the plans, elevations and materials submitted by Bob White of Leesburg Value Fund I, c/o Landmark Commercial R.E. as part of this application material set dated August 24, 2012 with the following conditions.

- The siding on the second floor of the addition to the Loudoun Times Mirror is approved to be the proposed color but in the original submission of James Hardie fiber cement board siding in smooth finish with no grain.
- Details shall be submitted to the Preservation Planner or the Board of Architectural Review, whichever the BAR deems appropriate, for approval on the painted metal doors, raised window trim on the second floor of the addition to the Loudoun Times Mirror building, and the cornices on the new construction within 15 days of the approval of the Certificate of Appropriateness.
- The source of lighting will not be visible from inside the curtain walls or glazing on upper floors when viewed from outside.
- Sight line drawings of the mechanical equipment screening from the street will be submitted to the Preservation Planner or the Board of Architectural Review, whichever the BAR deems appropriate, for approval within 15 days of the date of the Certificate of Appropriateness.

DRAFT MOTION

(Based on the BAR's discussion at the meeting, any changes to the language of either part of the motion should be incorporated as necessary.)

I move that TLHP-2012-0040 be approved subject to the application submitted by Bob White on April 23, 2012, amended through August 24, 2012 and subject to the findings and conditions of approval as stated in the September 5, 2012 Staff Report (or as amended by the BAR on September 5, 2012).

Or

I move that TLHP-2012-0040 be recessed, subject to mutual agreement by the applicant, to September 17, 2012 to resolve outstanding issues.

Or

I move that TLHP-2012-0040 be denied based on the following findings_____.